
TOWN OF
CLAREMONT
Est 1898

LOCAL HERITAGE SURVEY 2022

VOLUME 4: HERITAGE PRECINCT

Contents

VOL 4: HERITAGE PRECINCT	6
RESIDENCE, 18 BROWN STREET	8
RESIDENCE, 20 BROWN STREET	10
RESIDENCE, 21 BROWN STREET	12
RESIDENCE, 22 BROWN STREET	14
RESIDENCE, 1/25 BROWN STREET	16
RESIDENCE, 35 BROWN STREET	18
LANGSFORD STREET GROUP.....	20
RESIDENCE, 1A LANGSFORD STREET	22
RESIDENCE, 2 LANGSFORD STREET.....	24
RESIDENCE, 3 LANGSFORD STREET.....	26
RESIDENCE, 4 LANGSFORD STREET.....	28
RESIDENCE, 5A&B LANGSFORD STREET	30
RESIDENCE, 6 LANGSFORD STREET.....	32
LANGSFORD, 7 LANGSFORD STREET.....	34
RESIDENCE, 8 LANGSFORD STREET.....	36
RESIDENCE, 9 LANGSFORD STREET.....	38
RESIDENCE, 10 LANGSFORD STREET.....	40
RESIDENCE, 11 LANGSFORD STREET.....	42
RESIDENCE, 12 LANGSFORD STREET.....	44
RESIDENCE, 13 LANGSFORD STREET.....	46
RESIDENCE, 14 LANGSFORD STREET.....	48
RESIDENCE, 15 LANGSFORD STREET.....	50
RESIDENCE, 16 LANGSFORD STREET.....	52
RESIDENCE, 17 LANGSFORD STREET.....	54
RESIDENCE, 18 LANGSFORD STREET.....	56
LISSADELL, 20 LANGSFORD STREET	58
RESIDENCE, 22 LANGSFORD STREET.....	60
RESIDENCE, 24 LANGSFORD STREET.....	62
RESIDENCE, 26 LANGSFORD STREET.....	64
RESIDENCE, 45A LOCH STREET	66

RESIDENCE, 51 LOCH STREET	68
RESIDENCE, 53 LOCH STREET	70
RESIDENCE, 55 LOCH STREET	72
RESIDENCE, 59 LOCH STREET	74
RESIDENCE, 63 LOCH STREET	76
MARY STREET GROUP	78
RESIDENCE, 2 MARY STREET	80
RESIDENCE, 10 MARY STREET	82
RESIDENCE, 14 MARY STREET	84
RESIDENCE, 15 MARY STREET	86
RESIDENCE, 17 MARY STREET	88
RESIDENCE, 18 MARY STREET	90
RESIDENCE, 19 MARY STREET	92
RESIDENCE, 21 MARY STREET	94
RESIDENCE, 22 MARY STREET	96
RESIDENCE, 23 MARY STREET	98
RESIDENCE, 24 MARY STREET	100
RESIDENCE, 25 MARY STREET	102
WYANDRA, 4 MELVILLE STREET	104
RESIDENCE, 13 MELVILLE STREET	106
RESIDENCE, 21 MELVILLE STREET	108
RESIDENCE, 23 MELVILLE STREET	110
RESERVE STREET GROUP	112
RESIDENCE, 4 RESERVE STREET	114
PRESENTATION CONVENT, 6 RESERVE STREET	116
RESIDENCE, 10 RESERVE STREET	118
ST THOMAS CHURCH (FMR), 12 RESERVE STREET	120
RESIDENCE, 14 RESERVE STREET	122
RESIDENCE, 16 RESERVE STREET	124
RESIDENCE, 18 RESERVE STREET	126
RESIDENCE, 22 RESERVE STREET	128
RESIDENCE, 24 RESERVE STREET	130

RESIDENCE, 25 RESERVE STREET	132
RESIDENCE, 26 RESERVE STREET	134
RESIDENCE, 27 RESERVE STREET	136
RESIDENCE, 28 RESERVE STREET	138
RESIDENCE, 29 RESERVE STREET	140
RESIDENCE, 30 RESERVE STREET	142
RESIDENCE, 31 RESERVE STREET	144
RESIDENCE, 32 RESERVE STREET	146
RESIDENCE, 33 RESERVE STREET	148
RESIDENCE, 36 RESERVE STREET	150
RESIDENCE, 37 RESERVE STREET	152
RESIDENCE, 41 RESERVE STREET	154
RESIDENCE, 1 SMITH STREET	156
RESIDENCE, 3 SMITH STREET	158
RESIDENCE, 5 SMITH STREET	160
RESIDENCE, 7 SMITH STREET	162
RESIDENCE, 12 SMITH STREET	164
RESIDENCE, 13 SMITH STREET	166
RESIDENCE, 16 SMITH STREET	168
RESIDENCE, 23 SMITH STREET	170
ROWE PARK, STEVENS STREET	172
HIGHWAY HOTEL (FMR)	174
RESIDENCE (FMR), 222 STIRLING HIGHWAY.....	176
RESIDENCE (FMR), 236 STIRLING HIGHWAY.....	178
HALFWAY TREE HISTORIC SITE	180
CONGREGATIONAL CHURCH & HALL.....	182
ELECTRIC SUB-STATION, 280 STIRLING HIGHWAY	185
ST JOHN AMBULANCE, 282 STIRLING HIGHWAY.....	187
VAUCLUSE AVENUE GROUP	189
RESIDENCE, 1 VAUCLUSE AVENUE	191
RESIDENCE, 2 VAUCLUSE AVENUE	193
RESIDENCE, 3 VAUCLUSE AVENUE	195

RESIDENCE, 4 VAUCLUSE AVENUE	197
RESIDENCE, 5 VAUCLUSE AVENUE	199
RESIDENCE, 7 VAUCLUSE AVENUE	201
RESIDENCE, 9 VAUCLUSE AVENUE	203
RESIDENCE, 12 VAUCLUSE AVENUE	205
RESIDENCE, 15 VAUCLUSE AVENUE	207
RESIDENCE, 17 VAUCLUSE AVENUE	209
RESIDENCE, 22 VAUCLUSE AVENUE	211
WALTER STREET GROUP.....	213
RESIDENCE, 1 WALTER STREET.....	215
RESIDENCE, 2 WALTER STREET.....	217
GARRYOWEN, 4 WALTER STREET	219
YEOVIL, 5 WALTER STREET	221
RESIDENCE, 6 WALTER STREET.....	223
RESIDENCE, 7 WALTER STREET.....	225
RESIDENCE, 8 WALTER STREET.....	227
RESIDENCE, 10 WALTER STREET.....	229
RESIDENCE, 11 WALTER STREET.....	231
HARPTREE, 12 WALTER STREET.....	233
RESIDENCE, 13 WALTER STREET.....	235
HASWELL, 14 WALTER STREET	237
RESIDENCE, 15 WALTER STREET.....	239
STAVITON, 19 WALTER STREET	241
RESIDENCE, 21 WALTER STREET.....	243
RESIDENCE, 23 WALTER STREET.....	245
RESIDENCE, 25 WALTER STREET.....	247
RESIDENCE, 26 WALTER STREET.....	249
RESIDENCE, 28 WALTER STREET.....	251
ENNISKILLEN, 29 WALTER STREET.....	253
ST THOMAS THE APOSTLE CATHOLIC CHURCH.....	255

VOL 4: HERITAGE PRECINCT

This precinct lies across undulating topography with the concentration of heritage places being at the lower range of levels where there are, in places, quite steep falls towards Stirling Highway, whilst the area north of Melville Street is on rising ground with views across to the Showground Precinct.

The precinct contains one of the two largest concentration of heritage places within the district, with the most consistent subdivision and development characteristics of the Federation gold boom period. The heritage places contain some of the more notable examples of the Federation Queen Anne, Arts and Crafts and Bungalow styles in the district and within the metropolitan area. Many these are located south of Melville Street.

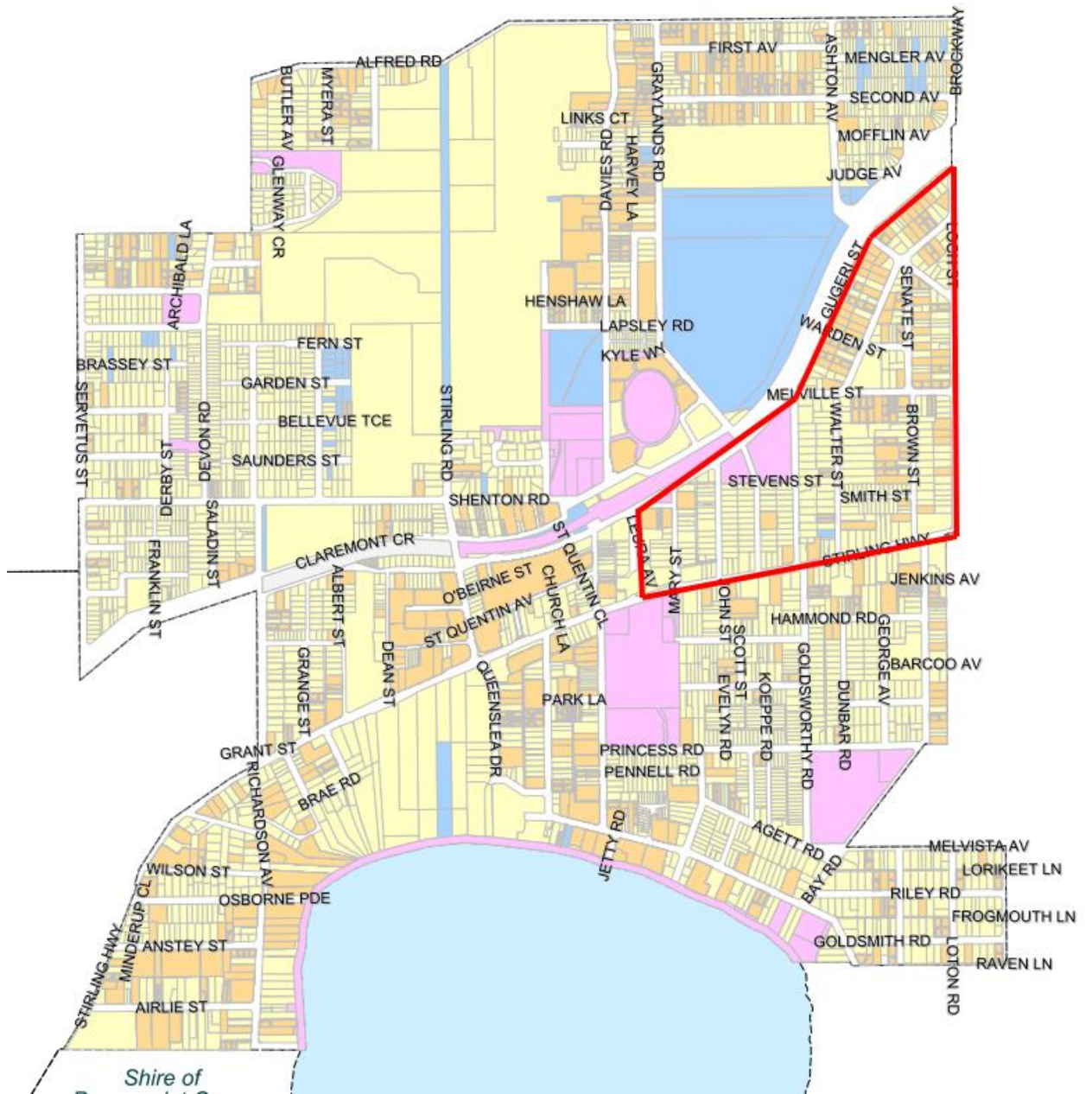
The area north of Melville Street predominantly dates from the Interwar and Post World War II periods. Housing located in the vicinity of College and Senate Streets dates from the Interwar period and is relatively consistent in terms of building styles and lot sizes. The flats that exist in Leura and Mary Streets effectively buffer the single residential area from the retail/ commercial area of Claremont. This area has recently seen considerable second lot activity, both narrow lot and battle-axe lot developments. The narrow lot developments have introduced car accommodation/street interaction issues, whilst the battle-axe lots have introduced the potential of overlooking and overshadowing issues.

Due to the large lots and considerable amount of landlocked yards in the street block between Walter and Brown Streets there is need to provide guidance for appropriate further development in this area. The retention of the small lots and small scale cottages in Smith Street should be strongly encouraged.

Much of the existing housing stock, from the Federation to the post-WWII period has retained quite high levels of integrity and, therefore, displays characteristics worthy of emulation in the appropriate circumstances. This is not a statement implying that new development should become reproductions of another period. New developments should be good examples of contemporary design based on the Claremont built environment.

There is a variety of fence styles and materials can be found closer to Stirling Highway. While greater flexibility in the choice of a fence is appropriate here care should be taken to ensure that the fence remains visually open and does not dominate the streetscape. Front fences in the vicinity of College and Senate Streets are generally in the form of low brick walls, delineating the boundary without obscuring views. This emphasis should be maintained and the increasing incidence of high screen walls, particularly on Guger Street and Loch Street where these streets have been treated as traffic arteries without due regard for environmental standards and amenity.

The mature street tree planting complements the quite extensive mature tree planting within the private domain, within the area south of Melville Street. In the area north of Melville Street the second lot redevelopment has been destructive of mature trees in the private domain placing greater emphasis of the public domain for landscape maturity and greenness.



RESIDENCE, 18 BROWN STREET



SIGNIFICANCE

Significance Level	Moderate Significance: Category 3
Description	Contributes to the heritage of the locality. Lower integrity/authenticity, not necessarily detracting from the overall significance of the place.

LOCATIONAL INFORMATION

LHS No.	139
Name of item	Residence
HCWA No.	07633
ToC Assess No.	749
Address	18 Brown Street CLAREMONT 6010
Location Desc.	Plan 24481 Lot 78
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Interwar Bungalow
Theme	1919-39: Interwar boom and bust
Values	
Statement of Significance	Single-storey brick and iron house from 1927. The place has aesthetic value for its contribution to the streetscape. The interior of the building is not of cultural heritage significance. Included in the Heritage List for reasons of contributing to the townscape, meeting the requirements of Section 78 Clause 3(c) of LPS3.

History	Originally No. 16 Brown Street,			
Integrity & Authenticity	The substantial verandahs are a later addition, giving a simple Interwar Bungalow something of the appearance of a Federation-era residence.			
Description	Single-storey red face brick and Zinalume roof. Corner gable with timber battens accentuates truncated corner entrance and steps leading up to a verandah supported by timber posts with timber frieze and timber balustrade. Timber framed multi-paned windows with rendered sills, one circular accent window. No front boundary fence. Carport addition to front.			
Condition				
Precinct/Parent Pl.	Heritage Precinct			
Listing types	Local Heritage Survey	Adopted [DATE]		
	Heritage List	Adopted [DATE]		
	Heritage Council of Western Australia			
	National Trust of Australia (WA)			
Date	Start	1927	Finish	Circa <input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology			
Other keywords			
Demolition			
Designer			
Builder/maker			
References	Author	Title	
		Town of Claremont Rate Books	
		Post Office Directories	
Owners	Francis Henry Blinco	Original Owner	

ADDITIONAL IMAGE/S

Caption			
Image year	Image by	Copyright	
[PHOTO]			

RESIDENCE, 20 BROWN STREET



SIGNIFICANCE

Significance Level	Moderate Significance: Category 3
Description	Contributes to the heritage of the locality. Lower integrity/authenticity, not necessarily detracting from the overall significance of the place.

LOCATIONAL INFORMATION

LHS No.	140
Name of item	Residence
HCWA No.	07634
ToC Assess No.	752
Address	20 Brown Street CLAREMONT 6010
Location Desc.	Plan 24481 Lot 79
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Interwar Bungalow
Theme	1919-39: Interwar boom and bust
Values	
Statement of Significance	Single-storey brick and iron house (c.1929), redeveloped in the 1980s to have something of the appearance of Federation Queen Anne architecture. The place has aesthetic value for its contribution to the streetscape and the surrounding area. The interior of the building is not of cultural heritage significance.

	Included in the Heritage List for reasons of contributing to the townscape, meeting the requirements of Section 78 Clause 3(c) of LPS3.				
History	Originally 18 Brown Street, constructed c.1929 and first occupied by Reginald Charles Ogborne. The residence originally lacked front and side verandahs and was substantially smaller. Verandahs were added between 1985 and 1989 (aerial photographs) along with extensive additions to the rear, and the original tiles were replaced with metal in 2011.				
Integrity & Authenticity	Verandah added since original construction. Extensive additions to rear.				
Description	Single-storey house set high off the ground, symmetrical façade with central door with side and top lights, flanked by French doors. Central porch gable over steps, hipped roof, with separate verandah roof supported by timber posts with brackets and frieze. Two tall chimneys. Addition to rear.				
Condition					
Precinct/Parent Pl.	Heritage Precinct				
Listing types	Local Heritage Survey		Adopted [DATE]		
	Heritage List		Adopted [DATE]		
	Heritage Council of Western Australia				
	National Trust of Australia (WA)				
Date	Start	1929	Finish		Circa <input checked="" type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology					
Other keywords					
Demolition					
Designer					
Builder/maker					
References	Author				Title
					Town of Claremont Rate Books
					Post Office Directories
Owners					

ADDITIONAL IMAGE/S

Caption					
Image year		Image by		Copyright	
[PHOTO]					

RESIDENCE, 21 BROWN STREET



SIGNIFICANCE

Significance Level	Moderate Significance: Category 3
Description	Contributes to the heritage of the locality. Lower integrity/authenticity, not necessarily detracting from the overall significance of the place.

LOCATIONAL INFORMATION

LHS No.	141
Name of item	Residence
HCWA No.	07635
ToC Assess No.	753
Address	21 Brown Street CLAREMONT 6010
Location Desc.	Plan 83030 Lot 3
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Interwar Bungalow
Theme	1919-39: Interwar boom and bust
Values	
Statement of Significance	Single storey rendered brick and Zinalume roof example of the Bungalow style of architecture. The place makes a moderate contribution to the streetscape, however some modifications to the fabric reduce its level of authenticity. It is historically significant as a typical residence in the Claremont area. The interior of the building is not of cultural heritage significance.

	Included in the Heritage List for reasons of contributing to the townscape, meeting the requirements of Section 78 Clause 3(c) of LPS3.				
History					
Integrity & Authenticity					
Description	Single-storey rendered brick house with Zinacalume roof with small gable and two chimneys. Decorative timber frieze and chamfered timber posts support a bull nose verandah roof that wraps around the house. Timber framed triple pane casement windows and French doors. Timber verandah. Recent carport addition to front built with matching timber detail to house. High painted brick wall.				
Condition					
Precinct/Parent Pl.	Heritage Precinct				
Listing types	Local Heritage Survey		Adopted [DATE]		
	Heritage List		Adopted [DATE]		
	Heritage Council of Western Australia				
	National Trust of Australia (WA)				
Date	Start	1928	Finish		Circa <input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology					
Other keywords					
Demolition					
Designer					
Builder/maker					
References	Author				Title
					Town of Claremont Rate Books
					Post Office Directories
Owners					

ADDITIONAL IMAGE/S

Caption					
Image year		Image by		Copyright	
[PHOTO]					

RESIDENCE, 22 BROWN STREET



SIGNIFICANCE

Significance Level	Moderate Significance: Category 3
Description	Contributes to the heritage of the locality. Lower integrity/authenticity, not necessarily detracting from the overall significance of the place.

LOCATIONAL INFORMATION

LHS No.	142
Name of item	Residence
HCWA No.	07636
ToC Assess No.	761
Address	22 Brown Street CLAREMONT 6010
Location Desc.	Plan 16072 Lot 14
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Victorian Georgian
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Single-storey Victorian Georgian brick and iron house dating from 1901. The place has aesthetic value for its contribution to the streetscape and the surrounding area. It is representative of the typical building stock located within the residential areas of Claremont. The interior of the building is not of cultural heritage significance.

	Included in the Heritage List for reasons of having been constructed before 1910, meeting the requirements of Section 78 Clause 3(a) of LPS3.			
History	Built 1904, valued at £55. (formerly No 80). 1955: Garage & additions. 1965: Additions.			
Integrity & Authenticity	Moderate - additions, however detailing intact, overall original form readable.			
Description	Single-storey rendered and painted brick house with a hipped Zinalume roof. Modified with additions and extended bullnose verandah at sides. Turned timber posts support dropped bull nose roof verandah that wraps around one side. Other side has been extended to incorporate a carport. Timber framed double hung sash windows. Brick corbelled chimney. Rear additions, however original form and roof line is readable. High brick wall.			
Condition				
Precinct/Parent Pl.	Heritage Precinct			
Listing types	Local Heritage Survey		Adopted [DATE]	
	Heritage List		Adopted [DATE]	
	Heritage Council of Western Australia			
	National Trust of Australia (WA)			
Date	Start	1901	Finish	
			Circa	<input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology		
Other keywords		
Demolition		
Designer		
Builder/maker		
References	Author	Title
		Town of Claremont Rate Books
		Post Office Directories
Owners		

ADDITIONAL IMAGE/S

Caption			
Image year	Image by	Copyright	
[PHOTO]			

RESIDENCE, 1/25 BROWN STREET



SIGNIFICANCE

Significance Level	Moderate Significance: Category 3
Description	Contributes to the heritage of the locality. Lower integrity/authenticity, not necessarily detracting from the overall significance of the place.

LOCATIONAL INFORMATION

LHS No.	143
Name of item	Residence
HCWA No.	07637
ToC Assess No.	764
Address	1/25 Brown Street CLAREMONT 6010
Location Desc.	Plan 14444 Lot 1
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Interwar Bungalow
Theme	1919-39: Interwar boom and bust
Values	
Statement of Significance	Single-storey brick and iron house dating from 1932. The place makes a moderate contribution to the streetscape, however some modifications to the fabric reduce its level of authenticity. It is representative of the typical building stock located within the residential areas of Claremont. The interior of the building is not of cultural heritage significance.

	Included in the Heritage List for reasons of contributing to the townscape, meeting the requirements of Section 78 Clause 3(c) of LPS3.			
History	Built 1932. 1960: Garage. 1966: Additions. 1974: Verandah. 1975 & 1977: Additions. 1979: Shed. 1986: Units built to rear. House became 1/25 Brown St.			
Integrity & Authenticity				
Description	Single-storey house set low to the ground with half gabled Zincolume roof with timber battens. Turned timber posts support continuous roof verandah. Roof line modified?			
Condition				
Precinct/Parent Pl.	Heritage Precinct			
Listing types	Local Heritage Survey		Adopted [DATE]	
	Heritage List		Adopted [DATE]	
	Heritage Council of Western Australia			
	National Trust of Australia (WA)			
Date	Start	1932	Finish	
			Circa	<input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology			
Other keywords			
Demolition			
Designer			
Builder/maker			
References	Author	Title	
		Town of Claremont Rate Books	
		Post Office Directories	
Owners	Kenneth Munro Kirkby	Original Owner	

ADDITIONAL IMAGE/S

Caption			
Image year		Image by	Copyright
[PHOTO]			

RESIDENCE, 35 BROWN STREET



SIGNIFICANCE

Significance Level	Considerable Significance: Category 2
Description	Very important to the heritage of the locality. High degree of integrity/authenticity.

LOCATIONAL INFORMATION

LHS No.	144
Name of item	Residence
HCWA No.	17541
ToC Assess No.	4989
Address	35 Brown Street CLAREMONT 6010
Location Desc.	Plan 50622 Lot 1
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and tile
Architectural style	Interwar Mediterranean
Theme	1919-39: Interwar boom and bust
Values	
Statement of Significance	35 Brown Street is a fine, late example of the Arts & Crafts architectural style, designed by Marshall Clifton. The interior of the building is not of cultural heritage significance. Included in the Heritage List for reasons of having high intrinsic architectural merit, meeting the requirements of Section 78 Clause 3(b) of LPS3.
History	First occupant Eric Wright. Originally No. 23.

	The architect (Mr. Marshall Clifton) has accepted a private tender of £1,385 for the erection of a brick residence in Brown Street, Claremont. (West Australian 18 Sept 1937)				
Integrity & Authenticity					
Description	The single-storey masonry residence has an expansive street frontage. The frontage is asymmetrical but balanced with two distinctive parapeted gables. The predominantly hipped roof breaks pitch over the verandah between the gables and at one end. Typical of the style is the gable wall with a central stepped chimney breast flanked by single vertical windows. The rendered walls are detailed in a face brick horizontal line and small groups of stepped bricks in the apex and as intermittent quoins on the corners of the front walls. The chimneys are tall square rendered with the same brick detail at the top.				
Condition					
Precinct/Parent Pl.	Heritage Precinct				
Listing types	Local Heritage Survey				Adopted [DATE]
	Heritage List				Adopted [DATE]
	Heritage Council of Western Australia				
	National Trust of Australia (WA)				
Date	Start	1937	Finish		Circa <input checked="" type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology					
Other keywords					
Demolition					
Designer	Marshall Clifton				
Builder/maker					
References	Author				Title
					Town of Claremont Rate Books
					Post Office Directories
Owners					

ADDITIONAL IMAGE/S

Caption					
Image year		Image by		Copyright	
[PHOTO]					

LANGSFORD STREET GROUP



SIGNIFICANCE

Significance Level	Considerable Significance: Category 2
Description	Very important to the heritage of the locality. High degree of integrity/authenticity.

LOCATIONAL INFORMATION

LHS No.	308
Name of item	Langsford Street Group
HCWA No.	
ToC Assess No.	
Address	1a-18, 22, 24, 26, 28 Langsford Street CLAREMONT 6010
Location Desc.	
Other names	
Place Type	Group
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town

Values				
Statement of Significance	Langsford Street Group demonstrates an identifiable aesthetic of substantial examples of the Federation architectural style demonstrating a consistency of form and fabric and variety of details through to the Interwar period. The place has high aesthetic and historic values as a streetscape. Included in the Heritage List for reasons of contributing to the townscape, meeting the requirements of Section 78 Clause 3(c) of LPS3.			
History	<p>Langsford Street was originally Notre Dame Street and adjacent to the Roman Catholic Reserve. In 1907, it was renamed Langsford Street in honour of Joseph Wood Langsford, accountant, Methodist lay preacher, member of the Road Board, second Mayor of Claremont and later MLC.</p> <p>Many of the pre-1914 houses in Langsford Street were built for newlyweds, or those with young families, who chose the street to be close to their families of origin in the immediately surrounding area. One of the early residents was Arthur Langsford, son of the street's namesake.</p> <p>Rowe Park was named after the former resident of Langsford Street, builder and Claremont identity Sam Rowe. Rowe Park was created on the 15 November 1901 as a public reserve from undeveloped crown land. Claremont Tennis Club created in 1898 moved to new clubrooms and tennis courts were created on the reserve in 1902. The reserve was known as Claremont Lawn Tennis Ground to 1920. Claremont Tennis Club is likely to have moved their clubrooms during 1920 although tennis courts were still present on the reserve in 1934. The park in its present shape and size was created in 1977 as Rowe Park.</p> <p>Many residences in the Langsford Street were constructed during a period of rapid growth within the Town. Population and housing grew steadily with 701 households and businesses in 1905, 872 in 1910 and 1,240 in 1915. The largest area containing houses of this period is the area bounded by Mary, Guger, Melville and Loch Streets and Stirling Highway. Surviving heritage homes from this period indicate that housing types were mainly Federation Bungalow and Federation Queen Anne with three to five rooms.</p>			
Integrity & Authenticity				
Description				
Condition				
Precinct/Parent Pl.	Heritage Precinct	Langsford Street		
Listing types	Local Heritage Survey	Adopted [DATE]		
	Heritage List	Adopted [DATE]		
	Heritage Council of Western Australia			
	National Trust of Australia (WA)			
Date	Start	Finish	Circa	<input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology		
Other keywords		
Demolition		
Designer		
Builder/maker		
References	Author	Title
		Town of Claremont Rate Books
		Post Office Directories
Owners		

ADDITIONAL IMAGE/S

Caption			
Image year	Image by	Copyright	
[PHOTO]			

RESIDENCE, 1A LANGSFORD STREET



SIGNIFICANCE

Significance Level	Moderate Significance: Category 3
Description	Contributes to the heritage of the locality. Lower integrity/authenticity, not necessarily detracting from the overall significance of the place.

LOCATIONAL INFORMATION

LHS No.	309
Name of item	Residence
HCWA No.	17282
ToC Assess No.	2321
Address	1a Langsford Street CLAREMONT 6010
Location Desc.	Plan 40506 Lot 61
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Good example of a Federation Bungalow contributing to the streetscape. The interior of the place is not of heritage significance. Included in the Heritage List for reasons of contributing to the townscape, meeting the requirements of Section 78 Clause 3(c) of LPS3.

History	<p>Langsford Street was originally Notre Dame Street and adjacent to the Roman Catholic Reserve. In 1907, it was renamed Langsford Street in honour of Joseph Wood Langsford, accountant, Methodist lay preacher, member of the Road Board, second Mayor of Claremont and later MLC.</p> <p>Many of the pre-1914 houses in Langsford Street were built for newlyweds, or those with young families, who chose the street to be close to their families of origin in the immediately surrounding area. One of the early residents was Arthur Langsford, son of the street's namesake.</p> <p>Rowe Park was named after the former resident of Langsford Street, builder and Claremont identity Sam Rowe. Rowe Park was created on the 15 November 1901 as a public reserve from undeveloped crown land. Claremont Tennis Club created in 1898 moved to new clubrooms and tennis courts were created on the reserve in 1902. The reserve was known as Claremont Lawn Tennis Ground to 1920. Claremont Tennis Club is likely to have moved their clubrooms during 1920 although tennis courts were still present on the reserve in 1934. The park in its present shape and size was created in 1977 as Rowe Park.</p> <p>Many residences in the Langsford Street were constructed during a period of rapid growth within the Town. Population and housing grew steadily with 701 households and businesses in 1905, 872 in 1910 and 1,240 in 1915. The largest area containing houses of this period is the area bounded by Mary, Guger, Melville and Loch Streets and Stirling Highway. Surviving heritage homes from this period indicate that housing types were mainly Federation Bungalow and Federation Queen Anne with three to five rooms.</p>			
Integrity & Authenticity				
Description	Single-storey painted brick building has symmetrical frontage with central front door flanked by aluminium framed windows. Gambrel-hipped roof is Zincolume clad. Full front verandah with concrete floor has separate hipped skillion supported by slender steel posts with decorative lace brackets. The painted chimney has moulded corbel detail and clay pots. There is a carport addition on the side.			
Condition				
Precinct/Parent Pl.	Heritage Precinct		Langsford Street	
Listing types	Local Heritage Survey		Adopted [DATE]	
	Heritage List		Adopted [DATE]	
	Heritage Council of Western Australia			
	National Trust of Australia (WA)			
Date	Start	1914	Finish	Circa <input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology		
Other keywords		
Demolition		
Designer		
Builder/maker		
References	Author	Title
		Town of Claremont Rate Books
		Post Office Directories
Owners		

ADDITIONAL IMAGE/S

Caption			
Image year	Image by	Copyright	
[PHOTO]			

RESIDENCE, 2 LANGSFORD STREET



SIGNIFICANCE

Significance Level	Moderate Significance: Category 3
Description	Contributes to the heritage of the locality. Lower integrity/authenticity, not necessarily detracting from the overall significance of the place.

LOCATIONAL INFORMATION

LHS No.	310
Name of item	Residence
HCWA No.	07749
ToC Assess No.	2322
Address	2 Langsford Street CLAREMONT 6010
Location Desc.	Plan 1234 Lot 17
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Good example of a Federation Bungalow contributing to the streetscape. The interior of the place is not of heritage significance. Included in the Heritage List for reasons of having been constructed before 1910, meeting the requirements of Section 78 Clause 3(a) of LPS3.

History	<p>Langsford Street was originally Notre Dame Street and adjacent to the Roman Catholic Reserve. In 1907, it was renamed Langsford Street in honour of Joseph Wood Langsford, accountant, Methodist lay preacher, member of the Road Board, second Mayor of Claremont and later MLC.</p> <p>Many of the pre-1914 houses in Langsford Street were built for newlyweds, or those with young families, who chose the street to be close to their families of origin in the immediately surrounding area. One of the early residents was Arthur Langsford, son of the street's namesake.</p> <p>Rowe Park was named after the former resident of Langsford Street, builder and Claremont identity Sam Rowe. Rowe Park was created on the 15 November 1901 as a public reserve from undeveloped crown land. Claremont Tennis Club created in 1898 moved to new clubrooms and tennis courts were created on the reserve in 1902. The reserve was known as Claremont Lawn Tennis Ground to 1920. Claremont Tennis Club is likely to have moved their clubrooms during 1920 although tennis courts were still present on the reserve in 1934. The park in its present shape and size was created in 1977 as Rowe Park.</p> <p>Many residences in the Langsford Street were constructed during a period of rapid growth within the Town. Population and housing grew steadily with 701 households and businesses in 1905, 872 in 1910 and 1,240 in 1915. The largest area containing houses of this period is the area bounded by Mary, Guger, Melville and Loch Streets and Stirling Highway. Surviving heritage homes from this period indicate that housing types were mainly Federation Bungalow and Federation Queen Anne with three to five rooms.</p>			
Integrity & Authenticity				
Description	Single-storey painted brick residence with hipped metal roof. Roof features half-timbered on roughcast gable frontage to both streets with bullnose verandah wrapping corner with hip detail at truncated corner. Concrete verandah has turned timber posts with decorative brackets. Gable wall on primary street has boxed bay window with hipped awning. Tall chimneys are painted and have rendered panel between mouldings with a pair of clay pots.			
Condition				
Precinct/Parent Pl.	Heritage Precinct	Langsford Street		
Listing types	Local Heritage Survey	Adopted [DATE]		
	Heritage List	Adopted [DATE]		
	Heritage Council of Western Australia			
	National Trust of Australia (WA)			
Date	Start	1907	Finish	Circa <input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology		
Other keywords		
Demolition		
Designer		
Builder/maker		
References	Author	Title
		Town of Claremont Rate Books
		Post Office Directories
Owners		

ADDITIONAL IMAGE/S

Caption			
Image year	Image by	Copyright	
[PHOTO]			

RESIDENCE, 3 LANGSFORD STREET



SIGNIFICANCE

Significance Level	Considerable Significance: Category 2
Description	Very important to the heritage of the locality. High degree of integrity/authenticity.

LOCATIONAL INFORMATION

LHS No.	311
Name of item	Residence
HCWA No.	07750
ToC Assess No.	2323
Address	3 Langsford Street CLAREMONT 6010
Location Desc.	Plan 3258 Lot 19
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and tile
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Fine example of a Federation Bungalow contributing to the streetscape. The interior of the place is not of heritage significance. Included in the Heritage List for reasons of contributing to the townscape, meeting the requirements of Section 78 Clause 3(c) of LPS3.

History	<p>Langsford Street was originally Notre Dame Street and adjacent to the Roman Catholic Reserve. In 1907, it was renamed Langsford Street in honour of Joseph Wood Langsford, accountant, Methodist lay preacher, member of the Road Board, second Mayor of Claremont and later MLC.</p> <p>Many of the pre-1914 houses in Langsford Street were built for newlyweds, or those with young families, who chose the street to be close to their families of origin in the immediately surrounding area. One of the early residents was Arthur Langsford, son of the street's namesake.</p> <p>Rowe Park was named after the former resident of Langsford Street, builder and Claremont identity Sam Rowe. Rowe Park was created on the 15 November 1901 as a public reserve from undeveloped crown land. Claremont Tennis Club created in 1898 moved to new clubrooms and tennis courts were created on the reserve in 1902. The reserve was known as Claremont Lawn Tennis Ground to 1920. Claremont Tennis Club is likely to have moved their clubrooms during 1920 although tennis courts were still present on the reserve in 1934. The park in its present shape and size was created in 1977 as Rowe Park.</p> <p>Many residences in the Langsford Street were constructed during a period of rapid growth within the Town. Population and housing grew steadily with 701 households and businesses in 1905, 872 in 1910 and 1,240 in 1915. The largest area containing houses of this period is the area bounded by Mary, Guger, Melville and Loch Streets and Stirling Highway. Surviving heritage homes from this period indicate that housing types were mainly Federation Bungalow and Federation Queen Anne with three to five rooms.</p>			
Integrity & Authenticity				
Description	Single-storey, face brick with rendered band. Hipped terracotta roof extends over front and side verandahs, with two dominant front gables, one smaller one in front of the other. Front gable aligns with central protruding room while entry is recessed on the side, as are French doors on the other side. The timber verandah has square timber posts and curved flat brackets. The face brick chimneys have a small rendered corbel at the rim and a pair of clay pots.			
Condition				
Precinct/Parent Pl.	Heritage Precinct	Langsford Street		
Listing types	Local Heritage Survey	Adopted [DATE]		
	Heritage List	Adopted [DATE]		
	Heritage Council of Western Australia			
	National Trust of Australia (WA)			
Date	Start	1915	Finish	Circa <input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology		
Other keywords		
Demolition		
Designer		
Builder/maker		
References	Author	Title
		Town of Claremont Rate Books
		Post Office Directories
Owners		

ADDITIONAL IMAGE/S

Caption			
Image year	Image by	Copyright	
[PHOTO]			

RESIDENCE, 4 LANGSFORD STREET



SIGNIFICANCE

Significance Level	Moderate Significance: Category 3
Description	Contributes to the heritage of the locality. Lower integrity/authenticity, not necessarily detracting from the overall significance of the place.

LOCATIONAL INFORMATION

LHS No.	312
Name of item	Residence
HCWA No.	25699
ToC Assess No.	2324
Address	4 Langsford Street CLAREMONT 6010
Location Desc.	Plan 1234 Lot 16
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and tile
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Good example of a Federation Bungalow contributing to the streetscape. The interior of the place is not of heritage significance. Included in the Heritage List for reasons of having been constructed before 1910, meeting the requirements of Section 78 Clause 3(a) of LPS3.

History	<p>Langsford Street was originally Notre Dame Street and adjacent to the Roman Catholic Reserve. In 1907, it was renamed Langsford Street in honour of Joseph Wood Langsford, accountant, Methodist lay preacher, member of the Road Board, second Mayor of Claremont and later MLC.</p> <p>Many of the pre-1914 houses in Langsford Street were built for newlyweds, or those with young families, who chose the street to be close to their families of origin in the immediately surrounding area. One of the early residents was Arthur Langsford, son of the street's namesake.</p> <p>Rowe Park was named after the former resident of Langsford Street, builder and Claremont identity Sam Rowe. Rowe Park was created on the 15 November 1901 as a public reserve from undeveloped crown land. Claremont Tennis Club created in 1898 moved to new clubrooms and tennis courts were created on the reserve in 1902. The reserve was known as Claremont Lawn Tennis Ground to 1920. Claremont Tennis Club is likely to have moved their clubrooms during 1920 although tennis courts were still present on the reserve in 1934. The park in its present shape and size was created in 1977 as Rowe Park.</p> <p>Many residences in the Langsford Street were constructed during a period of rapid growth within the Town. Population and housing grew steadily with 701 households and businesses in 1905, 872 in 1910 and 1,240 in 1915. The largest area containing houses of this period is the area bounded by Mary, Guger, Melville and Loch Streets and Stirling Highway. Surviving heritage homes from this period indicate that housing types were mainly Federation Bungalow and Federation Queen Anne with three to five rooms.</p>				
Integrity & Authenticity					
Description	Single-storey painted brick residence with a hipped tiled roof. The roof features a gable frontage with curved half-timber detail on roughcast and a faceted bay below. A separate tiled awning with timber brackets extends across the return frontage (in place of the original verandah).				
Condition					
Precinct/Parent Pl.	Heritage Precinct		Langsford Street		
Listing types	Local Heritage Survey		Adopted [DATE]		
	Heritage List		Adopted [DATE]		
	Heritage Council of Western Australia				
Date	Start 1907		Finish		Circa <input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology					
Other keywords					
Demolition					
Designer					
Builder/maker					
References	Author	Title			
		Town of Claremont Rate Books			
		Post Office Directories			
Owners					

ADDITIONAL IMAGE/S

Caption					
Image year		Image by		Copyright	
[PHOTO]					

RESIDENCE, 5A&B LANGSFORD STREET



SIGNIFICANCE

Significance Level	Moderate Significance: Category 3
Description	Contributes to the heritage of the locality. Lower integrity/authenticity, not necessarily detracting from the overall significance of the place.

LOCATIONAL INFORMATION

LHS No.	313
Name of item	Residence
HCWA No.	25691
ToC Assess No.	2325
Address	5a&b Langsford Street CLAREMONT 6010
Location Desc.	Plan 89605 Lot 102 & Plan 89605 Lot 100
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and tile
Architectural style	Mid 20 th Century architecture
Theme	1940-1965: An Old Suburb
Values	
Statement of Significance	1942 duplex designed with Mediterranean style influences. The interior of the place is not of heritage significance. Included in the Heritage List for reasons of contributing to the townscape, meeting the requirements of Section 78 Clause 3(c) of LPS3.

History	<p>Langsford Street was originally Notre Dame Street and adjacent to the Roman Catholic Reserve. In 1907, it was renamed Langsford Street in honour of Joseph Wood Langsford, accountant, Methodist lay preacher, member of the Road Board, second Mayor of Claremont and later MLC.</p> <p>Many of the pre-1914 houses in Langsford Street were built for newlyweds, or those with young families, who chose the street to be close to their families of origin in the immediately surrounding area. One of the early residents was Arthur Langsford, son of the street's namesake.</p> <p>Rowe Park was named after the former resident of Langsford Street, builder and Claremont identity Sam Rowe. Rowe Park was created on the 15 November 1901 as a public reserve from undeveloped crown land. Claremont Tennis Club created in 1898 moved to new clubrooms and tennis courts were created on the reserve in 1902. The reserve was known as Claremont Lawn Tennis Ground to 1920. Claremont Tennis Club is likely to have moved their clubrooms during 1920 although tennis courts were still present on the reserve in 1934. The park in its present shape and size was created in 1977 as Rowe Park.</p> <p>Many residences in the Langsford Street were constructed during a period of rapid growth within the Town. Population and housing grew steadily with 701 households and businesses in 1905, 872 in 1910 and 1,240 in 1915. The largest area containing houses of this period is the area bounded by Mary, Guger, Melville and Loch Streets and Stirling Highway. Surviving heritage homes from this period indicate that housing types were mainly Federation Bungalow and Federation Queen Anne with three to five rooms.</p>				
Integrity & Authenticity					
Description	Single-storey masonry mirror front duplex pair residence with a hipped Marseille tiled roof. The masonry walls are face brick to dado and rendered above. The juncture of the duplex pair is seamless with the expansive front gable apex at the centre of the two. A timber framed tiled window awning extends horizontally across the frontage of both. Each side has a recessed arched porch entry.				
Condition					
Precinct/Parent Pl.	Heritage Precinct		Langsford Street		
Listing types	Local Heritage Survey		Adopted [DATE]		
	Heritage List		Adopted [DATE]		
	Heritage Council of Western Australia				
	National Trust of Australia (WA)				
Date	Start	1942	Finish	Circa	<input checked="" type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology					
Other keywords					
Demolition					
Designer					
Builder/maker					
References	Author	Title			
		Town of Claremont Rate Books			
		Post Office Directories			
Owners					

ADDITIONAL IMAGE/S

Caption					
Image year		Image by		Copyright	
[PHOTO]					

RESIDENCE, 6 LANGSFORD STREET



SIGNIFICANCE

Significance Level	Moderate Significance: Category 3
Description	Contributes to the heritage of the locality. Lower integrity/authenticity, not necessarily detracting from the overall significance of the place.

LOCATIONAL INFORMATION

LHS No.	314
Name of item	Residence
HCWA No.	07751
ToC Assess No.	2327
Address	6 Langsford Street CLAREMONT 6010
Location Desc.	Plan 1234 Lot 15
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Good example of a Federation Bungalow contributing to the streetscape. The interior of the place is not of heritage significance. Included in the Heritage List for reasons of having been constructed before 1910, meeting the requirements of Section 78 Clause 3(a) of LPS3.

History	<p>Langsford Street was originally Notre Dame Street and adjacent to the Roman Catholic Reserve. In 1907, it was renamed Langsford Street in honour of Joseph Wood Langsford, accountant, Methodist lay preacher, member of the Road Board, second Mayor of Claremont and later MLC.</p> <p>Many of the pre-1914 houses in Langsford Street were built for newlyweds, or those with young families, who chose the street to be close to their families of origin in the immediately surrounding area. One of the early residents was Arthur Langsford, son of the street's namesake.</p> <p>Rowe Park was named after the former resident of Langsford Street, builder and Claremont identity Sam Rowe. Rowe Park was created on the 15 November 1901 as a public reserve from undeveloped crown land. Claremont Tennis Club created in 1898 moved to new clubrooms and tennis courts were created on the reserve in 1902. The reserve was known as Claremont Lawn Tennis Ground to 1920. Claremont Tennis Club is likely to have moved their clubrooms during 1920 although tennis courts were still present on the reserve in 1934. The park in its present shape and size was created in 1977 as Rowe Park.</p> <p>Many residences in the Langsford Street were constructed during a period of rapid growth within the Town. Population and housing grew steadily with 701 households and businesses in 1905, 872 in 1910 and 1,240 in 1915. The largest area containing houses of this period is the area bounded by Mary, Guger, Melville and Loch Streets and Stirling Highway. Surviving heritage homes from this period indicate that housing types were mainly Federation Bungalow and Federation Queen Anne with three to five rooms.</p>			
Integrity & Authenticity				
Description	<p>Single-storey painted brick residence with hipped metal roof. Roof features a gable frontage with decorative patterned timber over roughcast, and an awning over the window. Return front verandah roof is at break pitch off the main roof. Gothic arched spaced vertical timber valance supported by turned timber posts. French doors open onto verandah. Tall-corbelled chimney has been painted. Lean-to carport adjoins side of the residence. Brick front fence.</p>			
Condition				
Precinct/Parent Pl.	Heritage Precinct	Langsford Street		
Listing types	Local Heritage Survey	Adopted [DATE]		
	Heritage List	Adopted [DATE]		
	Heritage Council of Western Australia			
	National Trust of Australia (WA)			
Date	Start	1908	Finish	Circa <input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology		
Other keywords		
Demolition		
Designer		
Builder/maker		
References	Author	Title
		Town of Claremont Rate Books
		Post Office Directories
Owners		

ADDITIONAL IMAGE/S

Caption			
Image year	Image by	Copyright	
[PHOTO]			

LANGSFORD, 7 LANGSFORD STREET



SIGNIFICANCE

Significance Level	Considerable Significance: Category 2
Description	Very important to the heritage of the locality. High degree of integrity/authenticity.

LOCATIONAL INFORMATION

LHS No.	315
Name of item	Langsford
HCWA No.	07752
ToC Assess No.	2328
Address	7 Langsford Street CLAREMONT 6010
Location Desc.	Plan 3258 Lot 17
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Fine example of a Federation Bungalow contributing to the streetscape. The interior of the place is not of heritage significance. Included in the Heritage List for reasons of contributing to the townscape, meeting the requirements of Section 78 Clause 3(c) of LPS3.

History	<p>Langsford Street was originally Notre Dame Street and adjacent to the Roman Catholic Reserve. In 1907, it was renamed Langsford Street in honour of Joseph Wood Langsford, accountant, Methodist lay preacher, member of the Road Board, second Mayor of Claremont and later MLC.</p> <p>Many of the pre-1914 houses in Langsford Street were built for newlyweds, or those with young families, who chose the street to be close to their families of origin in the immediately surrounding area. One of the early residents was Arthur Langsford, son of the street's namesake.</p> <p>Rowe Park was named after the former resident of Langsford Street, builder and Claremont identity Sam Rowe. Rowe Park was created on the 15 November 1901 as a public reserve from undeveloped crown land. Claremont Tennis Club created in 1898 moved to new clubrooms and tennis courts were created on the reserve in 1902. The reserve was known as Claremont Lawn Tennis Ground to 1920. Claremont Tennis Club is likely to have moved their clubrooms during 1920 although tennis courts were still present on the reserve in 1934. The park in its present shape and size was created in 1977 as Rowe Park.</p> <p>Many residences in the Langsford Street were constructed during a period of rapid growth within the Town. Population and housing grew steadily with 701 households and businesses in 1905, 872 in 1910 and 1,240 in 1915. The largest area containing houses of this period is the area bounded by Mary, Guger, Melville and Loch Streets and Stirling Highway. Surviving heritage homes from this period indicate that housing types were mainly Federation Bungalow and Federation Queen Anne with three to five rooms.</p>			
Integrity & Authenticity				
Description	Single-storey tuckpointed brick with rendered banding and a hipped Zinacalume roof. The roof features a half-timbered on roughcast gable frontage with a bracketed awning over the pair of double hung windows on the gable wall. The return front verandah has a bullnose roof with a decorative turned timber valance, curved brackets and turned timber posts. Original front fence: timber frame and chain-link mesh. Tall face brick chimneys have moulded corbelling.			
Condition				
Precinct/Parent Pl.	Heritage Precinct	Langsford Street		
Listing types	Local Heritage Survey	Adopted [DATE]		
	Heritage List	Adopted [DATE]		
	Heritage Council of Western Australia			
	National Trust of Australia (WA)			
Date	Start	1916	Finish	Circa <input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology		
Other keywords		
Demolition		
Designer		
Builder/maker		
References	Author	Title
		Town of Claremont Rate Books
		Post Office Directories
Owners		

ADDITIONAL IMAGE/S

Caption			
Image year	Image by	Copyright	
[PHOTO]			

RESIDENCE, 8 LANGSFORD STREET



SIGNIFICANCE

Significance Level	Moderate Significance: Category 3
Description	Contributes to the heritage of the locality. Lower integrity/authenticity, not necessarily detracting from the overall significance of the place.

LOCATIONAL INFORMATION

LHS No.	316
Name of item	Residence
HCWA No.	07753
ToC Assess No.	2329
Address	8 Langsford Street CLAREMONT 6010
Location Desc.	Plan 1234 Lot 14
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Good example of a Federation Bungalow contributing to the streetscape. The interior of the place is not of heritage significance. Included in the Heritage List for reasons of having been constructed before 1910, meeting the requirements of Section 78 Clause 3(a) of LPS3.

History	<p>Langsford Street was originally Notre Dame Street and adjacent to the Roman Catholic Reserve. In 1907, it was renamed Langsford Street in honour of Joseph Wood Langsford, accountant, Methodist lay preacher, member of the Road Board, second Mayor of Claremont and later MLC.</p> <p>Many of the pre-1914 houses in Langsford Street were built for newlyweds, or those with young families, who chose the street to be close to their families of origin in the immediately surrounding area. One of the early residents was Arthur Langsford, son of the street's namesake.</p> <p>Rowe Park was named after the former resident of Langsford Street, builder and Claremont identity Sam Rowe. Rowe Park was created on the 15 November 1901 as a public reserve from undeveloped crown land. Claremont Tennis Club created in 1898 moved to new clubrooms and tennis courts were created on the reserve in 1902. The reserve was known as Claremont Lawn Tennis Ground to 1920. Claremont Tennis Club is likely to have moved their clubrooms during 1920 although tennis courts were still present on the reserve in 1934. The park in its present shape and size was created in 1977 as Rowe Park.</p> <p>Many residences in the Langsford Street were constructed during a period of rapid growth within the Town. Population and housing grew steadily with 701 households and businesses in 1905, 872 in 1910 and 1,240 in 1915. The largest area containing houses of this period is the area bounded by Mary, Gugerri, Melville and Loch Streets and Stirling Highway. Surviving heritage homes from this period indicate that housing types were mainly Federation Bungalow and Federation Queen Anne with three to five rooms.</p>			
Integrity & Authenticity				
Description	The single-storey painted brick and rendered banded building has a symmetrical frontage and the simple hipped roof is Zinalume clad. The full front verandah with a concrete floor has a separate hipped bullnose roof supported by slender square posts with decorative lace brackets and valance. The painted chimney has moulded corbel detail.			
Condition				
Precinct/Parent Pl.	Heritage Precinct		Langsford Street	
Listing types	Local Heritage Survey		Adopted [DATE]	
	Heritage List		Adopted [DATE]	
	Heritage Council of Western Australia			
	National Trust of Australia (WA)			
Date	Start	1904	Finish	Circa <input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology		
Other keywords		
Demolition		
Designer		
Builder/maker		
References	Author	Title
		Town of Claremont Rate Books
		Post Office Directories
Owners		

ADDITIONAL IMAGE/S

Caption			
Image year	Image by	Copyright	
[PHOTO]			

RESIDENCE, 9 LANGSFORD STREET



SIGNIFICANCE

Significance Level	Moderate Significance: Category 3
Description	Contributes to the heritage of the locality. Lower integrity/authenticity, not necessarily detracting from the overall significance of the place.

LOCATIONAL INFORMATION

LHS No.	317
Name of item	Residence
HCWA No.	07754
ToC Assess No.	2330
Address	9 Langsford Street CLAREMONT 6010
Location Desc.	Plan 3258 Lot 16
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Good example of a Federation Bungalow contributing to the streetscape. The interior of the place is not of heritage significance. Included in the Heritage List for reasons of having been constructed before 1910, meeting the requirements of Section 78 Clause 3(a) of LPS3.

History	<p>Langsford Street was originally Notre Dame Street and adjacent to the Roman Catholic Reserve. In 1907, it was renamed Langsford Street in honour of Joseph Wood Langsford, accountant, Methodist lay preacher, member of the Road Board, second Mayor of Claremont and later MLC.</p> <p>Many of the pre-1914 houses in Langsford Street were built for newlyweds, or those with young families, who chose the street to be close to their families of origin in the immediately surrounding area. One of the early residents was Arthur Langsford, son of the street's namesake.</p> <p>Rowe Park was named after the former resident of Langsford Street, builder and Claremont identity Sam Rowe. Rowe Park was created on the 15 November 1901 as a public reserve from undeveloped crown land. Claremont Tennis Club created in 1898 moved to new clubrooms and tennis courts were created on the reserve in 1902. The reserve was known as Claremont Lawn Tennis Ground to 1920. Claremont Tennis Club is likely to have moved their clubrooms during 1920 although tennis courts were still present on the reserve in 1934. The park in its present shape and size was created in 1977 as Rowe Park.</p> <p>Many residences in the Langsford Street were constructed during a period of rapid growth within the Town. Population and housing grew steadily with 701 households and businesses in 1905, 872 in 1910 and 1,240 in 1915. The largest area containing houses of this period is the area bounded by Mary, Guger, Melville and Loch Streets and Stirling Highway. Surviving heritage homes from this period indicate that housing types were mainly Federation Bungalow and Federation Queen Anne with three to five rooms.</p>			
Integrity & Authenticity				
Description	<p>The single-storey tuckpointed brick and rendered banded building has a symmetrical frontage and the hipped roof is Zincolume clad. The full front verandah is an extension of the main roof with two half-timbered gables over the stepped bays that flank the central front door. The bays have pairs of double hung sash windows, and the front door has a stained glass detail as for the sidelights and fanlights. The timber verandah is accessed by a sweeping set of steps flanked by square timber posts with unusual decorative brackets. The verandah is enclosed with timber boarding on one corner. The face brick chimney has moulded corbel detail.</p>			
Condition				
Precinct/Parent Pl.	Heritage Precinct	Langsford Street		
Listing types	Local Heritage Survey	Adopted [DATE]		
	Heritage List	Adopted [DATE]		
	Heritage Council of Western Australia			
	National Trust of Australia (WA)			
Date	Start	1912	Finish	Circa <input checked="" type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology			
Other keywords			
Demolition			
Designer			
Builder/maker			
References	Author	Title	
		Town of Claremont Rate Books	
		Post Office Directories	
Owners			

ADDITIONAL IMAGE/S

Caption			
Image year	Image by	Copyright	
[PHOTO]			

RESIDENCE, 10 LANGSFORD STREET



SIGNIFICANCE

Significance Level	Moderate Significance: Category 3
Description	Contributes to the heritage of the locality. Lower integrity/authenticity, not necessarily detracting from the overall significance of the place.

LOCATIONAL INFORMATION

LHS No.	318
Name of item	Residence
HCWA No.	07755
ToC Assess No.	2331
Address	10 Langsford Street CLAREMONT 6010
Location Desc.	Plan 1234 Lot 13
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Good example of a Federation Bungalow contributing to the streetscape. The interior of the place is not of heritage significance. Included in the Heritage List for reasons of having been constructed before 1910, meeting the requirements of Section 78 Clause 3(a) of LPS3.

History	<p>Langsford Street was originally Notre Dame Street and adjacent to the Roman Catholic Reserve. In 1907, it was renamed Langsford Street in honour of Joseph Wood Langsford, accountant, Methodist lay preacher, member of the Road Board, second Mayor of Claremont and later MLC.</p> <p>Many of the pre-1914 houses in Langsford Street were built for newlyweds, or those with young families, who chose the street to be close to their families of origin in the immediately surrounding area. One of the early residents was Arthur Langsford, son of the street's namesake.</p> <p>Rowe Park was named after the former resident of Langsford Street, builder and Claremont identity Sam Rowe. Rowe Park was created on the 15 November 1901 as a public reserve from undeveloped crown land. Claremont Tennis Club created in 1898 moved to new clubrooms and tennis courts were created on the reserve in 1902. The reserve was known as Claremont Lawn Tennis Ground to 1920. Claremont Tennis Club is likely to have moved their clubrooms during 1920 although tennis courts were still present on the reserve in 1934. The park in its present shape and size was created in 1977 as Rowe Park.</p> <p>Many residences in the Langsford Street were constructed during a period of rapid growth within the Town. Population and housing grew steadily with 701 households and businesses in 1905, 872 in 1910 and 1,240 in 1915. The largest area containing houses of this period is the area bounded by Mary, Gugerri, Melville and Loch Streets and Stirling Highway. Surviving heritage homes from this period indicate that housing types were mainly Federation Bungalow and Federation Queen Anne with three to five rooms.</p>			
Integrity & Authenticity				
Description	Single-storey painted brick with a hipped Zinalume roof. The roof features a half-timbered on roughcast gable frontage with finial above a faceted bay window. The return front verandah has a skillion roof with decorative brackets and turned timber posts. Tall face brick chimneys have moulded corbelling and clay pots.			
Condition				
Precinct/Parent Pl.	Heritage Precinct		Langsford Street	
Listing types	Local Heritage Survey		Adopted [DATE]	
	Heritage List		Adopted [DATE]	
	Heritage Council of Western Australia			
	National Trust of Australia (WA)			
Date	Start	1905	Finish	Circa <input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology		
Other keywords		
Demolition		
Designer		
Builder/maker		
References	Author	Title
		Town of Claremont Rate Books
		Post Office Directories
Owners		

ADDITIONAL IMAGE/S

Caption			
Image year	Image by	Copyright	
[PHOTO]			

RESIDENCE, 11 LANGSFORD STREET



SIGNIFICANCE

Significance Level	Moderate Significance: Category 3
Description	Contributes to the heritage of the locality. Lower integrity/authenticity, not necessarily detracting from the overall significance of the place.

LOCATIONAL INFORMATION

LHS No.	319
Name of item	Residence
HCWA No.	07756
ToC Assess No.	2332
Address	11 Langsford Street CLAREMONT 6010
Location Desc.	Plan 41725 Lot 40
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Good example of a Federation Bungalow contributing to the streetscape. The interior of the place is not of heritage significance. Included in the Heritage List for reasons of contributing to the townscape, meeting the requirements of Section 78 Clause 3(c) of LPS3.

History	<p>Langsford Street was originally Notre Dame Street and adjacent to the Roman Catholic Reserve. In 1907, it was renamed Langsford Street in honour of Joseph Wood Langsford, accountant, Methodist lay preacher, member of the Road Board, second Mayor of Claremont and later MLC.</p> <p>Many of the pre-1914 houses in Langsford Street were built for newlyweds, or those with young families, who chose the street to be close to their families of origin in the immediately surrounding area. One of the early residents was Arthur Langsford, son of the street's namesake.</p> <p>Rowe Park was named after the former resident of Langsford Street, builder and Claremont identity Sam Rowe. Rowe Park was created on the 15 November 1901 as a public reserve from undeveloped crown land. Claremont Tennis Club created in 1898 moved to new clubrooms and tennis courts were created on the reserve in 1902. The reserve was known as Claremont Lawn Tennis Ground to 1920. Claremont Tennis Club is likely to have moved their clubrooms during 1920 although tennis courts were still present on the reserve in 1934. The park in its present shape and size was created in 1977 as Rowe Park.</p> <p>Many residences in the Langsford Street were constructed during a period of rapid growth within the Town. Population and housing grew steadily with 701 households and businesses in 1905, 872 in 1910 and 1,240 in 1915. The largest area containing houses of this period is the area bounded by Mary, Guger, Melville and Loch Streets and Stirling Highway. Surviving heritage homes from this period indicate that housing types were mainly Federation Bungalow and Federation Queen Anne with three to five rooms.</p>			
Integrity & Authenticity	Substantial additions to street frontage (1995-2000, aerial photography). Low to moderate authenticity.			
Description	Single-storey with painted brickwork and rendered band. The hipped roof is clad with Zinalume sheeting. The roof features two small gables on corner truncations, and a break pitch over verandahs. The turned timber posts have triangle brackets with vertical timber infill.			
Condition				
Precinct/Parent Pl.	Heritage Precinct	Langsford Street		
Listing types	Local Heritage Survey	Adopted [DATE]		
	Heritage List	Adopted [DATE]		
	Heritage Council of Western Australia			
	National Trust of Australia (WA)			
Date	Start	1913	Finish	Circa <input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology			
Other keywords			
Demolition			
Designer			
Builder/maker			
References	Author	Title	
		Town of Claremont Rate Books	
		Post Office Directories	
Owners			

ADDITIONAL IMAGE/S

Caption			
Image year	Image by	Copyright	
[PHOTO]			

RESIDENCE, 12 LANGSFORD STREET



SIGNIFICANCE

Significance Level	Considerable Significance: Category 2
Description	Very important to the heritage of the locality. High degree of integrity/authenticity.

LOCATIONAL INFORMATION

LHS No.	320
Name of item	Residence
HCWA No.	07757
ToC Assess No.	2336
Address	12 Langsford Street CLAREMONT 6010
Location Desc.	Plan 1234 Lot 12
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Federation Queen Anne
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Fine example of a Federation Queen Anne residence contributing to the streetscape. The interior of the place is not of heritage significance. Included in the Heritage List for reasons of contributing to the townscape, meeting the requirements of Section 78 Clause 3(c) of LPS3.

History	<p>Langsford Street was originally Notre Dame Street and adjacent to the Roman Catholic Reserve. In 1907, it was renamed Langsford Street in honour of Joseph Wood Langsford, accountant, Methodist lay preacher, member of the Road Board, second Mayor of Claremont and later MLC.</p> <p>Many of the pre-1914 houses in Langsford Street were built for newlyweds, or those with young families, who chose the street to be close to their families of origin in the immediately surrounding area. One of the early residents was Arthur Langsford, son of the street's namesake.</p> <p>Rowe Park was named after the former resident of Langsford Street, builder and Claremont identity Sam Rowe. Rowe Park was created on the 15 November 1901 as a public reserve from undeveloped crown land. Claremont Tennis Club created in 1898 moved to new clubrooms and tennis courts were created on the reserve in 1902. The reserve was known as Claremont Lawn Tennis Ground to 1920. Claremont Tennis Club is likely to have moved their clubrooms during 1920 although tennis courts were still present on the reserve in 1934. The park in its present shape and size was created in 1977 as Rowe Park.</p> <p>Many residences in the Langsford Street were constructed during a period of rapid growth within the Town. Population and housing grew steadily with 701 households and businesses in 1905, 872 in 1910 and 1,240 in 1915. The largest area containing houses of this period is the area bounded by Mary, Guger, Melville and Loch Streets and Stirling Highway. Surviving heritage homes from this period indicate that housing types were mainly Federation Bungalow and Federation Queen Anne with three to five rooms.</p>			
Integrity & Authenticity				
Description	Single-storey painted brick and quoined corners. The complex hipped roof has a small front gable and truncated corner gable, with the same vented detail and finial. A bullnose verandah wraps the front and side flanking the truncation. The truncated opening forms three bays with turned timber posts and arched vertical timbered valance between, as for the remaining bay along the flanking sections. The front door has stained glass panelling to the door, sidelights and fanlight.			
Condition				
Precinct/Parent Pl.	Heritage Precinct		Langsford Street	
Listing types	Local Heritage Survey		Adopted [DATE]	
	Heritage List		Adopted [DATE]	
	Heritage Council of Western Australia			
	National Trust of Australia (WA)			
Date	Start	1912	Finish	
			Circa	<input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology		
Other keywords		
Demolition		
Designer		
Builder/maker		
References	Author	Title
		Town of Claremont Rate Books
		Post Office Directories
Owners		

ADDITIONAL IMAGE/S

Caption			
Image year	Image by	Copyright	
[PHOTO]			

RESIDENCE, 13 LANGSFORD STREET



SIGNIFICANCE

Significance Level	Moderate Significance: Category 3
Description	Contributes to the heritage of the locality. Lower integrity/authenticity, not necessarily detracting from the overall significance of the place.

LOCATIONAL INFORMATION

LHS No.	321
Name of item	Residence
HCWA No.	25701
ToC Assess No.	2332
Address	13 Langsford Street CLAREMONT 6010
Location Desc.	Plan 3258 Lot 13
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and tile
Architectural style	Interwar California Bungalow
Theme	1919-39: Interwar boom and bust
Values	
Statement of Significance	Although clearly modified, 13 Langsford Street is still easily readable as an Interwar California Bungalow and contributes towards the streetscape. The interior of the place is not of heritage significance. Included in the Heritage List for reasons of contributing to the townscape, meeting the requirements of Section 78 Clause 3(c) of LPS3.

History	<p>Rear extension and carport constructed 1978.</p> <p>Langsford Street was originally Notre Dame Street and adjacent to the Roman Catholic Reserve. In 1907, it was renamed Langsford Street in honour of Joseph Wood Langsford, accountant, Methodist lay preacher, member of the Road Board, second Mayor of Claremont and later MLC.</p> <p>Many of the pre-1914 houses in Langsford Street were built for newlyweds, or those with young families, who chose the street to be close to their families of origin in the immediately surrounding area. One of the early residents was Arthur Langsford, son of the street's namesake.</p> <p>Surviving heritage homes from this period indicate that housing types were mainly Federation Bungalow and Federation Queen Anne with three to five rooms.</p>			
Integrity & Authenticity				
Description	Single-storey masonry residence with a hipped Marseille tiled roof and expansive asymmetrical gable frontage. The masonry walls are face brick to dado and rendered above. The single front wall includes recessed verandah with columns as for main wall.			
Condition				
Precinct/Parent Pl.	Heritage Precinct		Langsford Street	
Listing types	Local Heritage Survey		Adopted [DATE]	
	Heritage List		Adopted [DATE]	
	Heritage Council of Western Australia			
	National Trust of Australia (WA)			
Date	Start	1924	Finish	
			Circa	<input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology			
Other keywords			
Demolition			
Designer			
Builder/maker			
References	Author	Title	
		Town of Claremont Rate Books	
		Post Office Directories	
Owners			

ADDITIONAL IMAGE/S

Caption				
Image year		Image by		Copyright
[PHOTO]				

RESIDENCE, 14 LANGSFORD STREET



SIGNIFICANCE

Significance Level	Moderate Significance: Category 3
Description	Contributes to the heritage of the locality. Lower integrity/authenticity, not necessarily detracting from the overall significance of the place.

LOCATIONAL INFORMATION

LHS No.	322
Name of item	Residence
HCWA No.	07758
ToC Assess No.	2338
Address	14 Langsford Street CLAREMONT 6010
Location Desc.	Plan 1234 Lot 11
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Good example of a Federation Bungalow contributing to the streetscape. The interior of the place is not of heritage significance. Included in the Heritage List for reasons of having been constructed before 1910, meeting the requirements of Section 78 Clause 3(a) of LPS3.

History	<p>Langsford Street was originally Notre Dame Street and adjacent to the Roman Catholic Reserve. In 1907, it was renamed Langsford Street in honour of Joseph Wood Langsford, accountant, Methodist lay preacher, member of the Road Board, second Mayor of Claremont and later MLC.</p> <p>Many of the pre-1914 houses in Langsford Street were built for newlyweds, or those with young families, who chose the street to be close to their families of origin in the immediately surrounding area. One of the early residents was Arthur Langsford, son of the street's namesake.</p> <p>Rowe Park was named after the former resident of Langsford Street, builder and Claremont identity Sam Rowe. Rowe Park was created on the 15 November 1901 as a public reserve from undeveloped crown land. Claremont Tennis Club created in 1898 moved to new clubrooms and tennis courts were created on the reserve in 1902. The reserve was known as Claremont Lawn Tennis Ground to 1920. Claremont Tennis Club is likely to have moved their clubrooms during 1920 although tennis courts were still present on the reserve in 1934. The park in its present shape and size was created in 1977 as Rowe Park.</p> <p>Many residences in the Langsford Street were constructed during a period of rapid growth within the Town. Population and housing grew steadily with 701 households and businesses in 1905, 872 in 1910 and 1,240 in 1915. The largest area containing houses of this period is the area bounded by Mary, Guger, Melville and Loch Streets and Stirling Highway. Surviving heritage homes from this period indicate that housing types were mainly Federation Bungalow and Federation Queen Anne with three to five rooms.</p>			
Integrity & Authenticity				
Description	Single-storey painted brick with rendered banding has a hipped Zinalume roof with apex gablet and a half-timbered on roughcast gable frontage with a bracketed awning over a set of three casement windows. The return front verandah has a bullnose roof with decorative turned timber valance with diamond shaped detail and turned timber posts. Tall face brick chimneys have moulded corbelling. A double carport in the setback space replicates the hipped roof and valance and post details.			
Condition				
Precinct/Parent Pl.	Heritage Precinct	Langsford Street		
Listing types	Local Heritage Survey	Adopted [DATE]		
	Heritage List	Adopted [DATE]		
	Heritage Council of Western Australia			
	National Trust of Australia (WA)			
Date	Start	1908	Finish	Circa <input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology		
Other keywords		
Demolition		
Designer		
Builder/maker		
References	Author	Title
		Town of Claremont Rate Books
		Post Office Directories
Owners		

ADDITIONAL IMAGE/S

Caption			
Image year	Image by	Copyright	
[PHOTO]			

RESIDENCE, 15 LANGSFORD STREET



SIGNIFICANCE

Significance Level	Considerable Significance: Category 2
Description	Very important to the heritage of the locality. High degree of integrity/authenticity.

LOCATIONAL INFORMATION

LHS No.	323
Name of item	Residence
HCWA No.	07759
ToC Assess No.	2339
Address	15 Langsford Street CLAREMONT 6010
Location Desc.	Plan 3258 Lot 12
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Fine example of a Federation Bungalow contributing to the streetscape. The interior of the place is not of heritage significance. Included in the Heritage List for reasons of contributing to the townscape, meeting the requirements of Section 78 Clause 3(c) of LPS3.

History	<p>Langsford Street was originally Notre Dame Street and adjacent to the Roman Catholic Reserve. In 1907, it was renamed Langsford Street in honour of Joseph Wood Langsford, accountant, Methodist lay preacher, member of the Road Board, second Mayor of Claremont and later MLC.</p> <p>Many of the pre-1914 houses in Langsford Street were built for newlyweds, or those with young families, who chose the street to be close to their families of origin in the immediately surrounding area. One of the early residents was Arthur Langsford, son of the street's namesake.</p> <p>Rowe Park was named after the former resident of Langsford Street, builder and Claremont identity Sam Rowe. Rowe Park was created on the 15 November 1901 as a public reserve from undeveloped crown land. Claremont Tennis Club created in 1898 moved to new clubrooms and tennis courts were created on the reserve in 1902. The reserve was known as Claremont Lawn Tennis Ground to 1920. Claremont Tennis Club is likely to have moved their clubrooms during 1920 although tennis courts were still present on the reserve in 1934. The park in its present shape and size was created in 1977 as Rowe Park.</p> <p>Many residences in the Langsford Street were constructed during a period of rapid growth within the Town. Population and housing grew steadily with 701 households and businesses in 1905, 872 in 1910 and 1,240 in 1915. The largest area containing houses of this period is the area bounded by Mary, Guger, Melville and Loch Streets and Stirling Highway. Surviving heritage homes from this period indicate that housing types were mainly Federation Bungalow and Federation Queen Anne with three to five rooms.</p>			
Integrity & Authenticity				
Description	Single-storey tuckpointed brick with rendered banding and gambrel hipped Zincalume roof. Roof features half-timbered on roughcast gable frontage with a decorative bracketed awning over the pair of double hung windows on the gable wall. The return front verandah has a bullnose roof with decorative vertical timber valance detailed in a flat curve incorporating the brackets to the chamfered posts. The verandah continues along the side. Landscaped garden.			
Condition				
Precinct/Parent Pl.	Heritage Precinct		Langsford Street	
Listing types	Local Heritage Survey		Adopted [DATE]	
	Heritage List		Adopted [DATE]	
	Heritage Council of Western Australia			
Date	Start	1914	Finish	
			Circa	<input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology			
Other keywords			
Demolition			
Designer			
Builder/maker			
References	Author	Title	
		Town of Claremont Rate Books	
		Post Office Directories	
Owners			

ADDITIONAL IMAGE/S

Caption			
Image year	Image by	Copyright	
[PHOTO]			

RESIDENCE, 16 LANGSFORD STREET



SIGNIFICANCE

Significance Level	Considerable Significance: Category 2
Description	Very important to the heritage of the locality. High degree of integrity/authenticity.

LOCATIONAL INFORMATION

LHS No.	324
Name of item	Residence
HCWA No.	07760
ToC Assess No.	2340
Address	16 Langsford Street CLAREMONT 6010
Location Desc.	Plan 1234 Lot 10
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Fine example of a Federation Bungalow contributing to the streetscape. The interior of the place is not of heritage significance. Included in the Heritage List for reasons of having been constructed before 1910, meeting the requirements of Section 78 Clause 3(a) of LPS3.

History	<p>Langsford Street was originally Notre Dame Street and adjacent to the Roman Catholic Reserve. In 1907, it was renamed Langsford Street in honour of Joseph Wood Langsford, accountant, Methodist lay preacher, member of the Road Board, second Mayor of Claremont and later MLC.</p> <p>Many of the pre-1914 houses in Langsford Street were built for newlyweds, or those with young families, who chose the street to be close to their families of origin in the immediately surrounding area. One of the early residents was Arthur Langsford, son of the street's namesake.</p> <p>Rowe Park was named after the former resident of Langsford Street, builder and Claremont identity Sam Rowe. Rowe Park was created on the 15 November 1901 as a public reserve from undeveloped crown land. Claremont Tennis Club created in 1898 moved to new clubrooms and tennis courts were created on the reserve in 1902. The reserve was known as Claremont Lawn Tennis Ground to 1920. Claremont Tennis Club is likely to have moved their clubrooms during 1920 although tennis courts were still present on the reserve in 1934. The park in its present shape and size was created in 1977 as Rowe Park.</p> <p>Many residences in the Langsford Street were constructed during a period of rapid growth within the Town. Population and housing grew steadily with 701 households and businesses in 1905, 872 in 1910 and 1,240 in 1915. The largest area containing houses of this period is the area bounded by Mary, Guger, Melville and Loch Streets and Stirling Highway. Surviving heritage homes from this period indicate that housing types were mainly Federation Bungalow and Federation Queen Anne with three to five rooms.</p>			
Integrity & Authenticity				
Description	Single-storey painted brick with a hipped Zinalume roof with vented gablet at the apex. The roof features a curved decorative half-timbered on roughcast gable frontage and finial above a faceted bay with a double hung sash window in each facet. The return front verandah has a bullnose roof with a decorative vertical turned timber valance, decorative brackets and turned timber posts. The verandah continues down the side to a recessed frontage. The verandah also has a vertical timbered balustrade.			
Condition				
Precinct/Parent Pl.	Heritage Precinct	Langsford Street		
Listing types	Local Heritage Survey	Adopted [DATE]		
	Heritage List	Adopted [DATE]		
	Heritage Council of Western Australia			
	National Trust of Australia (WA)			
Date	Start	1906	Finish	Circa <input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology		
Other keywords		
Demolition		
Designer		
Builder/maker		
References	Author	Title
		Town of Claremont Rate Books
		Post Office Directories
Owners		

ADDITIONAL IMAGE/S

Caption			
Image year	Image by	Copyright	
[PHOTO]			

RESIDENCE, 17 LANGSFORD STREET



SIGNIFICANCE

Significance Level	Moderate Significance: Category 3
Description	Contributes to the heritage of the locality. Lower integrity/authenticity, not necessarily detracting from the overall significance of the place.

LOCATIONAL INFORMATION

LHS No.	325
Name of item	Residence
HCWA No.	07761
ToC Assess No.	2341
Address	17 Langsford Street CLAREMONT 6010
Location Desc.	Plan 3258 Lot 11 & Lot 10
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Interwar Bungalow
Theme	1919-39: Interwar boom and bust
Values	
Statement of Significance	Good example of an Interwar Bungalow contributing to the streetscape. The interior of the place is not of heritage significance. Included in the Heritage List for reasons of contributing to the townscape, meeting the requirements of Section 78 Clause 3(c) of LPS3.

History	<p>Langsford Street was originally Notre Dame Street and adjacent to the Roman Catholic Reserve. In 1907, it was renamed Langsford Street in honour of Joseph Wood Langsford, accountant, Methodist lay preacher, member of the Road Board, second Mayor of Claremont and later MLC.</p> <p>Many of the pre-1914 houses in Langsford Street were built for newlyweds, or those with young families, who chose the street to be close to their families of origin in the immediately surrounding area. One of the early residents was Arthur Langsford, son of the street's namesake.</p> <p>Rowe Park was named after the former resident of Langsford Street, builder and Claremont identity Sam Rowe. Rowe Park was created on the 15 November 1901 as a public reserve from undeveloped crown land. Claremont Tennis Club created in 1898 moved to new clubrooms and tennis courts were created on the reserve in 1902. The reserve was known as Claremont Lawn Tennis Ground to 1920. Claremont Tennis Club is likely to have moved their clubrooms during 1920 although tennis courts were still present on the reserve in 1934. The park in its present shape and size was created in 1977 as Rowe Park.</p> <p>Many residences in the Langsford Street were constructed during a period of rapid growth within the Town. Population and housing grew steadily with 701 households and businesses in 1905, 872 in 1910 and 1,240 in 1915. The largest area containing houses of this period is the area bounded by Mary, Guger, Melville and Loch Streets and Stirling Highway. Surviving heritage homes from this period indicate that housing types were mainly Federation Bungalow and Federation Queen Anne with three to five rooms.</p>			
Integrity & Authenticity				
Description	Single-storey painted brick with hipped Zinalume roof. The full front verandah has a bullnose roof with simple timber valance incorporating the brackets to the square posts. Brick front wall.			
Condition				
Precinct/Parent Pl.	Heritage Precinct	Langsford Street		
Listing types	Local Heritage Survey	Adopted [DATE]		
	Heritage List	Adopted [DATE]		
	Heritage Council of Western Australia			
	National Trust of Australia (WA)			
Date	Start	1922	Finish	Circa <input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology			
Other keywords			
Demolition			
Designer			
Builder/maker			
References	Author	Title	
		Town of Claremont Rate Books	
		Post Office Directories	
Owners			

ADDITIONAL IMAGE/S

Caption			
Image year	Image by	Copyright	
[PHOTO]			

RESIDENCE, 18 LANGSFORD STREET



SIGNIFICANCE

Significance Level	Moderate Significance: Category 3
Description	Contributes to the heritage of the locality. Lower integrity/authenticity, not necessarily detracting from the overall significance of the place.

LOCATIONAL INFORMATION

LHS No.	326
Name of item	Residence
HCWA No.	07762
ToC Assess No.	2342
Address	18 Langsford Street CLAREMONT 6010
Location Desc.	Plan 1234 Lot 9
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Interwar California Bungalow
Theme	1919-39: Interwar boom and bust
Values	
Statement of Significance	Good example of an Interwar California Bungalow contributing to the streetscape. The interior of the place is not of heritage significance. Included in the Heritage List for reasons of contributing to the townscape, meeting the requirements of Section 78 Clause 3(c) of LPS3.

History	<p>Langsford Street was originally Notre Dame Street and adjacent to the Roman Catholic Reserve. In 1907, it was renamed Langsford Street in honour of Joseph Wood Langsford, accountant, Methodist lay preacher, member of the Road Board, second Mayor of Claremont and later MLC.</p> <p>Many of the pre-1914 houses in Langsford Street were built for newlyweds, or those with young families, who chose the street to be close to their families of origin in the immediately surrounding area. One of the early residents was Arthur Langsford, son of the street's namesake.</p> <p>Rowe Park was named after the former resident of Langsford Street, builder and Claremont identity Sam Rowe. Rowe Park was created on the 15 November 1901 as a public reserve from undeveloped crown land. Claremont Tennis Club created in 1898 moved to new clubrooms and tennis courts were created on the reserve in 1902. The reserve was known as Claremont Lawn Tennis Ground to 1920. Claremont Tennis Club is likely to have moved their clubrooms during 1920 although tennis courts were still present on the reserve in 1934. The park in its present shape and size was created in 1977 as Rowe Park.</p> <p>Many residences in the Langsford Street were constructed during a period of rapid growth within the Town. Population and housing grew steadily with 701 households and businesses in 1905, 872 in 1910 and 1,240 in 1915. The largest area containing houses of this period is the area bounded by Mary, Guger, Melville and Loch Streets and Stirling Highway. Surviving heritage homes from this period indicate that housing types were mainly Federation Bungalow and Federation Queen Anne with three to five rooms.</p>				
Integrity & Authenticity					
Description	Single-storey rendered brick with banding and gable Zinalume roof. Roof features two front facing vertical half-timbered on roughcast gables with main front wall and gable having bracketed awning over set of three casement windows. Recessed entry is under separate skillion verandah supported by simple timber posts and brackets.				
Condition					
Precinct/Parent Pl.	Heritage Precinct		Langsford Street		
Listing types	Local Heritage Survey		Adopted [DATE]		
	Heritage List		Adopted [DATE]		
	Heritage Council of Western Australia				
	National Trust of Australia (WA)				
Date	Start	1927	Finish		Circa <input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology					
Other keywords					
Demolition					
Designer					
Builder/maker					
References	Author	Title			
		Town of Claremont Rate Books			
		Post Office Directories			
Owners					

ADDITIONAL IMAGE/S

Caption					
Image year		Image by		Copyright	
[PHOTO]					

LISSADELL, 20 LANGSFORD STREET



SIGNIFICANCE

Significance Level	Considerable Significance: Category 2
Description	Very important to the heritage of the locality. High degree of integrity/authenticity.

LOCATIONAL INFORMATION

LHS No.	327
Name of item	Lissadell
HCWA No.	07763
ToC Assess No.	2344
Address	20 Langsford Street CLAREMONT 6010
Location Desc.	Plan 1234 Lot 8
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Fine example of a Federation Bungalow contributing to the streetscape. The interior of the place is not of heritage significance. Included in the Heritage List for reasons of having been constructed before 1910, meeting the requirements of Section 78 Clause 3(a) of LPS3.

History	<p>Langsford Street was originally Notre Dame Street and adjacent to the Roman Catholic Reserve. In 1907, it was renamed Langsford Street in honour of Joseph Wood Langsford, accountant, Methodist lay preacher, member of the Road Board, second Mayor of Claremont and later MLC.</p> <p>Many of the pre-1914 houses in Langsford Street were built for newlyweds, or those with young families, who chose the street to be close to their families of origin in the immediately surrounding area. One of the early residents was Arthur Langsford, son of the street's namesake.</p> <p>Rowe Park was named after the former resident of Langsford Street, builder and Claremont identity Sam Rowe. Rowe Park was created on the 15 November 1901 as a public reserve from undeveloped crown land. Claremont Tennis Club created in 1898 moved to new clubrooms and tennis courts were created on the reserve in 1902. The reserve was known as Claremont Lawn Tennis Ground to 1920. Claremont Tennis Club is likely to have moved their clubrooms during 1920 although tennis courts were still present on the reserve in 1934. The park in its present shape and size was created in 1977 as Rowe Park.</p> <p>Many residences in the Langsford Street were constructed during a period of rapid growth within the Town. Population and housing grew steadily with 701 households and businesses in 1905, 872 in 1910 and 1,240 in 1915. The largest area containing houses of this period is the area bounded by Mary, Guger, Melville and Loch Streets and Stirling Highway. Surviving heritage homes from this period indicate that housing types were mainly Federation Bungalow and Federation Queen Anne with three to five rooms.</p>			
Integrity & Authenticity				
Description	Single-storey painted brick with a high-pitched gable pavilion roof extending over the full front verandah. The verandah is detailed with decorative vertical timber valance in a curve incorporating the brackets to the square posts. Balustrade with spaced vertical timbers match the valance.			
Condition				
Precinct/Parent Pl.	Heritage Precinct		Langsford Street	
Listing types	Local Heritage Survey		Adopted [DATE]	
	Heritage List		Adopted [DATE]	
	Heritage Council of Western Australia			
Date	Start	1905	Finish	
			Circa	<input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology		
Other keywords		
Demolition		
Designer		
Builder/maker		
References	Author	Title
		Town of Claremont Rate Books
		Post Office Directories
Owners		

ADDITIONAL IMAGE/S

Caption			
Image year	Image by	Copyright	
[PHOTO]			

RESIDENCE, 22 LANGSFORD STREET



SIGNIFICANCE

Significance Level	Considerable Significance: Category 2
Description	Very important to the heritage of the locality. High degree of integrity/authenticity.

LOCATIONAL INFORMATION

LHS No.	328
Name of item	Residence
HCWA No.	07764
ToC Assess No.	2345
Address	22 Langsford Street CLAREMONT 6010
Location Desc.	Plan 1234 Lot 7
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Fine example of a Federation Bungalow contributing to the streetscape. The interior of the place is not of heritage significance. Included in the Heritage List for reasons of having been constructed before 1910, meeting the requirements of Section 78 Clause 3(a) of LPS3.

History	<p>Langsford Street was originally Notre Dame Street and adjacent to the Roman Catholic Reserve. In 1907, it was renamed Langsford Street in honour of Joseph Wood Langsford, accountant, Methodist lay preacher, member of the Road Board, second Mayor of Claremont and later MLC.</p> <p>Many of the pre-1914 houses in Langsford Street were built for newlyweds, or those with young families, who chose the street to be close to their families of origin in the immediately surrounding area. One of the early residents was Arthur Langsford, son of the street's namesake.</p> <p>Rowe Park was named after the former resident of Langsford Street, builder and Claremont identity Sam Rowe. Rowe Park was created on the 15 November 1901 as a public reserve from undeveloped crown land. Claremont Tennis Club created in 1898 moved to new clubrooms and tennis courts were created on the reserve in 1902. The reserve was known as Claremont Lawn Tennis Ground to 1920. Claremont Tennis Club is likely to have moved their clubrooms during 1920 although tennis courts were still present on the reserve in 1934. The park in its present shape and size was created in 1977 as Rowe Park.</p> <p>Many residences in the Langsford Street were constructed during a period of rapid growth within the Town. Population and housing grew steadily with 701 households and businesses in 1905, 872 in 1910 and 1,240 in 1915. The largest area containing houses of this period is the area bounded by Mary, Guger, Melville and Loch Streets and Stirling Highway. Surviving heritage homes from this period indicate that housing types were mainly Federation Bungalow and Federation Queen Anne with three to five rooms.</p>			
Integrity & Authenticity				
Description	Single-storey painted brick with rendered banding and a gambrel hipped Zinalume roof. The roof features a half-timbered on roughcast gable over a boxed bay window. A bullnose verandah supported by square timber posts covers the entire front verandah.			
Condition				
Precinct/Parent Pl.	Heritage Precinct		Langsford Street	
Listing types	Local Heritage Survey		Adopted [DATE]	
	Heritage List		Adopted [DATE]	
	Heritage Council of Western Australia			
	National Trust of Australia (WA)			
Date	Start	1907	Finish	Circa <input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology		
Other keywords		
Demolition		
Designer		
Builder/maker		
References	Author	Title
		Town of Claremont Rate Books
		Post Office Directories
Owners		

ADDITIONAL IMAGE/S

Caption			
Image year	Image by	Copyright	
[PHOTO]			

RESIDENCE, 24 LANGSFORD STREET



SIGNIFICANCE

Significance Level	Considerable Significance: Category 2
Description	Very important to the heritage of the locality. High degree of integrity/authenticity.

LOCATIONAL INFORMATION

LHS No.	329
Name of item	Residence
HCWA No.	07765
ToC Assess No.	2346
Address	24 Langsford Street CLAREMONT 6010
Location Desc.	Plan 1234 Lot 6
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Fine example of a Federation Bungalow contributing to the streetscape. The interior of the place is not of heritage significance. Included in the Heritage List for reasons of having been constructed before 1910, meeting the requirements of Section 78 Clause 3(a) of LPS3.

History	<p>Langsford Street was originally Notre Dame Street and adjacent to the Roman Catholic Reserve. In 1907, it was renamed Langsford Street in honour of Joseph Wood Langsford, accountant, Methodist lay preacher, member of the Road Board, second Mayor of Claremont and later MLC.</p> <p>Many of the pre-1914 houses in Langsford Street were built for newlyweds, or those with young families, who chose the street to be close to their families of origin in the immediately surrounding area. One of the early residents was Arthur Langsford, son of the street's namesake.</p> <p>Rowe Park was named after the former resident of Langsford Street, builder and Claremont identity Sam Rowe. Rowe Park was created on the 15 November 1901 as a public reserve from undeveloped crown land. Claremont Tennis Club created in 1898 moved to new clubrooms and tennis courts were created on the reserve in 1902. The reserve was known as Claremont Lawn Tennis Ground to 1920. Claremont Tennis Club is likely to have moved their clubrooms during 1920 although tennis courts were still present on the reserve in 1934. The park in its present shape and size was created in 1977 as Rowe Park.</p> <p>Many residences in the Langsford Street were constructed during a period of rapid growth within the Town. Population and housing grew steadily with 701 households and businesses in 1905, 872 in 1910 and 1,240 in 1915. The largest area containing houses of this period is the area bounded by Mary, Guger, Melville and Loch Streets and Stirling Highway. Surviving heritage homes from this period indicate that housing types were mainly Federation Bungalow and Federation Queen Anne with three to five rooms.</p>			
Integrity & Authenticity				
Description	Single-storey painted brick with a hipped Zinalume roof. Central front half-timbered on roughcast gable aligned with the central entry that is flanked by pairs of double hung sash windows. The separate skillion verandahs extend across the frontage. It is supported by turned timber posts with simple brackets to the vertical timbered valance. Tall painted and corbelled chimneys. Carport addition on the side with same valance detail as residence.			
Condition				
Precinct/Parent Pl.	Heritage Precinct	Langsford Street		
Listing types	Local Heritage Survey	Adopted [DATE]		
	Heritage List	Adopted [DATE]		
	Heritage Council of Western Australia			
	National Trust of Australia (WA)			
Date	Start	1905	Finish	Circa <input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology		
Other keywords		
Demolition		
Designer		
Builder/maker		
References	Author	Title
		Town of Claremont Rate Books
		Post Office Directories
Owners		

ADDITIONAL IMAGE/S

Caption			
Image year	Image by	Copyright	
[PHOTO]			

RESIDENCE, 26 LANGSFORD STREET



SIGNIFICANCE

Significance Level	Moderate Significance: Category 3
Description	Contributes to the heritage of the locality. Lower integrity/authenticity, not necessarily detracting from the overall significance of the place.

LOCATIONAL INFORMATION

LHS No.	330
Name of item	Residence
HCWA No.	07766
ToC Assess No.	2347
Address	26 Langsford Street CLAREMONT 6010
Location Desc.	Plan 1234 Lot 5
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Good example of a Federation Bungalow contributing to the streetscape. The interior of the place is not of heritage significance. Included in the Heritage List for reasons of having been constructed before 1910, meeting the requirements of Section 78 Clause 3(a) of LPS3.

History	<p>Langsford Street was originally Notre Dame Street and adjacent to the Roman Catholic Reserve. In 1907, it was renamed Langsford Street in honour of Joseph Wood Langsford, accountant, Methodist lay preacher, member of the Road Board, second Mayor of Claremont and later MLC.</p> <p>Many of the pre-1914 houses in Langsford Street were built for newlyweds, or those with young families, who chose the street to be close to their families of origin in the immediately surrounding area. One of the early residents was Arthur Langsford, son of the street's namesake.</p> <p>Rowe Park was named after the former resident of Langsford Street, builder and Claremont identity Sam Rowe. Rowe Park was created on the 15 November 1901 as a public reserve from undeveloped crown land. Claremont Tennis Club created in 1898 moved to new clubrooms and tennis courts were created on the reserve in 1902. The reserve was known as Claremont Lawn Tennis Ground to 1920. Claremont Tennis Club is likely to have moved their clubrooms during 1920 although tennis courts were still present on the reserve in 1934. The park in its present shape and size was created in 1977 as Rowe Park.</p> <p>Many residences in the Langsford Street were constructed during a period of rapid growth within the Town. Population and housing grew steadily with 701 households and businesses in 1905, 872 in 1910 and 1,240 in 1915. The largest area containing houses of this period is the area bounded by Mary, Guger, Melville and Loch Streets and Stirling Highway. Surviving heritage homes from this period indicate that housing types were mainly Federation Bungalow and Federation Queen Anne with three to five rooms.</p>			
Integrity & Authenticity				
Description	Single-storey painted brick with a hipped Zinalume roof that features a half-timbered on roughcast gable frontage with a bracketed awning over a set of three casement windows. The return front verandah has a bullnose roof with decorative filigree timber valance and brackets on square timber posts. Tall face brick corbelled chimneys. Carport addition on the side, and extension at the rear.			
Condition				
Precinct/Parent Pl.	Heritage Precinct	Langsford Street		
Listing types	Local Heritage Survey	Adopted [DATE]		
	Heritage List	Adopted [DATE]		
	Heritage Council of Western Australia			
	National Trust of Australia (WA)			
Date	Start	1908	Finish	Circa <input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology			
Other keywords			
Demolition			
Designer			
Builder/maker			
References	Author	Title	
		Town of Claremont Rate Books	
		Post Office Directories	
Owners			

ADDITIONAL IMAGE/S

Caption			
Image year	Image by	Copyright	
[PHOTO]			

RESIDENCE, 45A LOCH STREET



SIGNIFICANCE

Significance Level	Moderate Significance: Category 3
Description	Contributes to the heritage of the locality. Lower integrity/authenticity, not necessarily detracting from the overall significance of the place.

LOCATIONAL INFORMATION

LHS No.	339
Name of item	Residence
HCWA No.	25645
ToC Assess No.	320
Address	45a Loch Street CLAREMONT 6010
Location Desc.	Plan 34911 Lot 1
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and tile
Architectural style	Interwar California Bungalow
Theme	1919-39: Interwar boom and bust
Values	
Statement of Significance	Good example of an Interwar California Bungalow contributing to the streetscape. The interior of the place is not of heritage significance. Included in the Heritage List for reasons of contributing to the townscape, meeting the requirements of Section 78 Clause 3(c) of LPS3.

History					
Integrity & Authenticity	Moderate – despite additions and garage to front, detailing intact, original roof form intact, overall original form readable.				
Description	Rendered masonry with brick quoining, with a tiled hipped and gabled roof. Front projecting room with tiled awning over windows. Pairs of square timber posts support verandah which is under a continuous roof. Front door with fan and side lights, and timber framed multi paned casement windows. Chimney. High brick wall to boundary.				
Condition					
Precinct/Parent Pl.	Heritage Precinct				
Listing types	Local Heritage Survey				Adopted [DATE]
	Heritage List				Adopted [DATE]
	Heritage Council of Western Australia				
	National Trust of Australia (WA)				
Date	Start	1930	Finish		Circa <input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology					
Other keywords					
Demolition					
Designer					
Builder/maker					
References	Author				Title
					Town of Claremont Rate Books
					Post Office Directories
Owners					

ADDITIONAL IMAGE/S

Caption					
Image year		Image by		Copyright	
[PHOTO]					

RESIDENCE, 51 LOCH STREET



SIGNIFICANCE

Significance Level	Moderate Significance: Category 3
Description	Contributes to the heritage of the locality. Lower integrity/authenticity, not necessarily detracting from the overall significance of the place.

LOCATIONAL INFORMATION

LHS No.	340
Name of item	Residence
HCWA No.	25698
ToC Assess No.	2422
Address	51 Loch Street CLAREMONT 6010
Location Desc.	Plan 31785 Lot 223
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Interwar California Bungalow
Theme	1919-39: Interwar boom and bust
Values	
Statement of Significance	Good example of an Interwar California Bungalow contributing to the streetscape. The interior of the place is not of heritage significance. Included in the Heritage List for reasons of contributing to the townscape, meeting the requirements of Section 78 Clause 3(c) of LPS3.

History	<p>Loch Street was originally the boundary between Locations 717 and 624. It is not known exactly when the street was created but the first person noted as living there is blacksmith Thomas Golding who had a house and forge in Loch Street in 1898. Golding was the only blacksmith in Claremont during this period. Golding was joined by another in 1899 but only four households, including Golding's, are shown by 1903, a date which marks the start of the next major development period in Claremont.</p> <p>Loch Street was only marginally affected by the 1903-15 development period and only four households were living on the Claremont side of the street by 1915. These homes are likely to have clustered south of Melville Street as by 1931 only two of ten households were located north of Melville Street. However the number of households had doubled by 1940 with most of the new development taking place to the north of Melville. Therefore the 'Interwar' period is the main period of historic development for Loch Street.</p>				
Integrity & Authenticity					
Description	Single-storey rendered masonry residence with a hipped corrugated iron roof that features an expansive front half-timbered gable over a protruding front verandah. Similar to No. 55.				
Condition					
Precinct/Parent Pl.	Heritage Precinct				
Listing types	Local Heritage Survey		Adopted [DATE]		
	Heritage List		Adopted [DATE]		
	Heritage Council of Western Australia				
	National Trust of Australia (WA)				
Date	Start	1939	Finish		Circa <input checked="" type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology					
Other keywords					
Demolition					
Designer					
Builder/maker					
References	Author				Title
					Town of Claremont Rate Books
					Post Office Directories
Owners					

ADDITIONAL IMAGE/S

Caption					
Image year		Image by		Copyright	
[PHOTO]					

RESIDENCE, 53 LOCH STREET



SIGNIFICANCE

Significance Level	Moderate Significance: Category 3
Description	Contributes to the heritage of the locality. Lower integrity/authenticity, not necessarily detracting from the overall significance of the place.

LOCATIONAL INFORMATION

LHS No.	341
Name of item	Residence
HCWA No.	
ToC Assess No.	2423
Address	53 Loch Street CLAREMONT 6010
Location Desc.	Plan 13900 Lot 9
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Good example of a Federation Bungalow contributing to the streetscape. The interior of the place is not of heritage significance. Included in the Heritage List for reasons of contributing to the townscape, meeting the requirements of Section 78 Clause 3(c) of LPS3.

History	<p>Loch Street was originally the boundary between Locations 717 and 624. It is not known exactly when the street was created but the first person noted as living there is blacksmith Thomas Golding who had a house and forge in Loch Street in 1898. Golding was the only blacksmith in Claremont during this period. Golding was joined by another in 1899 but only four households, including Golding's, are shown by 1903, a date which marks the start of the next major development period in Claremont.</p> <p>Loch Street was only marginally affected by the 1903-15 development period and only four households were living on the Claremont side of the street by 1915. These homes are likely to have clustered south of Melville Street as by 1931 only two of ten households were located north of Melville Street. However the number of households had doubled by 1940 with most of the new development taking place to the north of Melville. Therefore the 'Interwar' period is the main period of historic development for Loch Street.</p>				
Integrity & Authenticity					
Description	Single-storey masonry residence with a symmetrical hipped roof that extends over a perimeter verandah. The verandah is detailed with a flat arch valance.				
Condition					
Precinct/Parent Pl.	Heritage Precinct				
Listing types	Local Heritage Survey		Adopted [DATE]		
	Heritage List		Adopted [DATE]		
	Heritage Council of Western Australia				
	National Trust of Australia (WA)				
Date	Start	1913	Finish		Circa <input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology					
Other keywords					
Demolition					
Designer					
Builder/maker					
References	Author	Title			
		Town of Claremont Rate Books			
		Post Office Directories			
Owners					

ADDITIONAL IMAGE/S

Caption					
Image year		Image by		Copyright	
[PHOTO]					

RESIDENCE, 55 LOCH STREET



SIGNIFICANCE

Significance Level	Moderate Significance: Category 3
Description	Contributes to the heritage of the locality. Lower integrity/authenticity, not necessarily detracting from the overall significance of the place.

LOCATIONAL INFORMATION

LHS No.	342
Name of item	Residence
HCWA No.	07769
ToC Assess No.	2424
Address	55 Loch Street CLAREMONT 6010
Location Desc.	Plan 31785 Lot 225
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and tile
Architectural style	Interwar California Bungalow
Theme	1919-39: Interwar boom and bust
Values	
Statement of Significance	Good example of an Interwar California Bungalow contributing to the streetscape. The interior of the place is not of heritage significance. Included in the Heritage List for reasons of contributing to the townscape, meeting the requirements of Section 78 Clause 3(c) of LPS3.

History	<p>Loch Street was originally the boundary between Locations 717 and 624. It is not known exactly when the street was created but the first person noted as living there is blacksmith Thomas Golding who had a house and forge in Loch Street in 1898. Golding was the only blacksmith in Claremont during this period. Golding was joined by another in 1899 but only four households, including Golding's, are shown by 1903, a date which marks the start of the next major development period in Claremont.</p> <p>Loch Street was only marginally affected by the 1903-15 development period and only four households were living on the Claremont side of the street by 1915. These homes are likely to have clustered south of Melville Street as by 1931 only two of ten households were located north of Melville Street. However the number of households had doubled by 1940 with most of the new development taking place to the north of Melville. Therefore the 'Interwar' period is the main period of historic development for Loch Street.</p>				
Integrity & Authenticity					
Description	Single-storey rendered masonry residence with hipped tiled roof that features expansive front half-timbered gable over protruding front verandah. Similar to No. 51.				
Condition					
Precinct/Parent Pl.	Heritage Precinct				
Listing types	Local Heritage Survey		Adopted [DATE]		
	Heritage List		Adopted [DATE]		
	Heritage Council of Western Australia				
	National Trust of Australia (WA)				
Date	Start	1938	Finish		Circa <input checked="" type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology					
Other keywords					
Demolition					
Designer					
Builder/maker					
References	Author	Title			
		Town of Claremont Rate Books			
		Post Office Directories			
Owners					

ADDITIONAL IMAGE/S

Caption					
Image year		Image by		Copyright	
[PHOTO]					

RESIDENCE, 59 LOCH STREET



SIGNIFICANCE

Significance Level	Moderate Significance: Category 3
Description	Contributes to the heritage of the locality. Lower integrity/authenticity, not necessarily detracting from the overall significance of the place.

LOCATIONAL INFORMATION

LHS No.	343
Name of item	Residence
HCWA No.	07770
ToC Assess No.	2427
Address	59 Loch Street CLAREMONT 6010
Location Desc.	Plan 12944 Lot 5
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Good example of a Federation Bungalow contributing to the streetscape. The interior of the place is not of heritage significance. Included in the Heritage List for reasons of having been constructed before 1910, meeting the requirements of Section 78 Clause 3(a) of LPS3.

History	<p>Loch Street was originally the boundary between Locations 717 and 624. It is not known exactly when the street was created but the first person noted as living there is blacksmith Thomas Golding who had a house and forge in Loch Street in 1898. Golding was the only blacksmith in Claremont during this period. Golding was joined by another in 1899 but only four households, including Golding's, are shown by 1903, a date which marks the start of the next major development period in Claremont.</p> <p>Loch Street was only marginally affected by the 1903-15 development period and only four households were living on the Claremont side of the street by 1915. These homes are likely to have clustered south of Melville Street as by 1931 only two of ten households were located north of Melville Street. However the number of households had doubled by 1940 with most of the new development taking place to the north of Melville. Therefore the 'Interwar' period is the main period of historic development for Loch Street.</p>				
Integrity & Authenticity					
Description	Single-storey masonry residence with a hipped roof that features a protruding half-timbered gable and return side verandah with entry on the side of the protruding room. The gable detail curves into a rectangular bay window.				
Condition					
Precinct/Parent Pl.	Heritage Precinct				
Listing types	Local Heritage Survey		Adopted [DATE]		
	Heritage List		Adopted [DATE]		
	Heritage Council of Western Australia				
	National Trust of Australia (WA)				
Date	Start	1906	Finish		Circa <input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology					
Other keywords					
Demolition					
Designer					
Builder/maker					
References	Author	Title			
		Town of Claremont Rate Books			
		Post Office Directories			
Owners					

ADDITIONAL IMAGE/S

Caption					
Image year		Image by		Copyright	
[PHOTO]					

RESIDENCE, 63 LOCH STREET



SIGNIFICANCE

Significance Level	Considerable Significance: Category 2
Description	Very important to the heritage of the locality. High degree of integrity/authenticity.

LOCATIONAL INFORMATION

LHS No.	344
Name of item	Residence
HCWA No.	07771
ToC Assess No.	2429
Address	63 Loch Street CLAREMONT 6010
Location Desc.	Plan 539 Lot 4 & 5
Other names	St Maur
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Stone and metal
Architectural style	Victorian Georgian
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Fine intact authentic representative example of pre-1900 Federation Bungalow residence constructed of random coursed pointed limestone. The interior of the place is not of heritage significance. Included in the Heritage List for reasons of having been constructed before 1910, meeting the requirements of Section 78 Clause 3(a) of LPS3.
History	In 1916, the place was described as: "The improvements include a brick and stone bungalow of 6 rooms, laundry, bath, fine fernery, exceptionally large aviary, workshop, verandah on two sides and

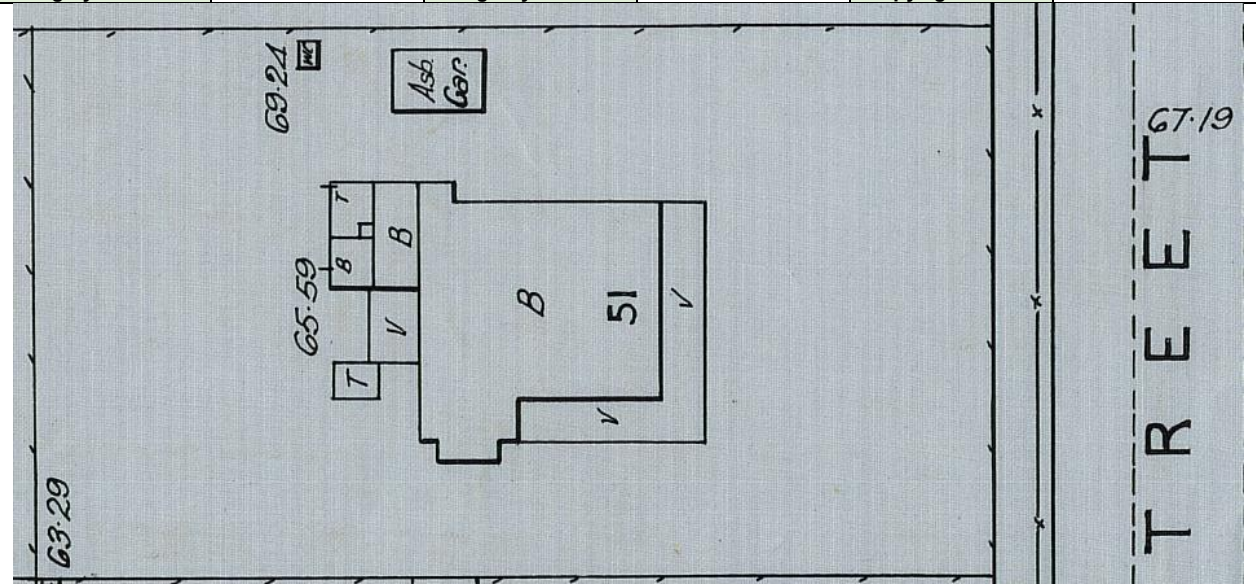
	back, with ample sleeping-out accommodation; lawns, garden, hedge, fruit trees, windmill." (<i>West Australian</i> 14 June 1916)			
Integrity & Authenticity				
Description	The single-storey residence has an expansive hipped roof that extends over the perimeter verandahs. The random coursed pointed face stone remains unpainted although the rendered quoins are painted. The windows are single full-length bachelor windows with security mesh over. The verandah is supported by square timber posts with sections of crisscross timber balustrade.			
Condition				
Precinct/Parent Pl.	Heritage Precinct			
Listing types	Local Heritage Survey	Adopted [DATE]		
	Heritage List	Adopted [DATE]		
	Heritage Council of Western Australia			
	National Trust of Australia (WA)			
Date	Start	1898	Finish	Circa <input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology		
Other keywords		
Demolition		
Designer		
Builder/maker		
References	Author	Title
		Town of Claremont Rate Books
		Post Office Directories
Owners	A. T. Ratten – Original owner	

ADDITIONAL IMAGE/S

Caption	Metropolitan Sewerage Plan				
Image year	1929	Image by		Copyright	SROWA



The diagram is a technical drawing of a building's sewerage layout. It shows a large rectangular building with several internal rooms. The rooms are labeled with letters and numbers: 'T' (toilet), 'B' (bathroom), 'V' (verandah), and '51'. There is also a box labeled 'Ash Gar.' (ash garage). The building is situated on a plot bounded by streets 69-24, 65-59, 63-29, and 67-19. A dashed line indicates the location of 'T R E E T'.

MARY STREET GROUP



SIGNIFICANCE

Significance Level	Considerable Significance: Category 2
Description	Very important to the heritage of the locality. High degree of integrity/authenticity.

LOCATIONAL INFORMATION

LHS No.	346
Name of item	Mary Street Group
HCWA No.	
ToC Assess No.	
Address	10, 14, 15, 17, 18, 19, 21, 22, 23, 24, 25 Mary Street CLAREMONT 6010
Location Desc.	
Other names	
Place Type	Group
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	
Architectural style	
Theme	

Values				
Statement of Significance	<p>Demonstrates a diversity of the Federation and Interwar residences that developed in proximity and highlight the development of the styles during the intersecting periods. The quality of design, detail, and decoration during the latter part of the 'Federation' period is demonstrated in the residences at Nos. 14, 18 culminating in Nos. 23 and 25, while the Interwar California Bungalows revert to austerity and similarity of design and detail as shown by Nos. 10 and 24. Overall, the residences collectively form an aesthetically cohesive streetscape.</p> <p>Included in the Heritage List for reasons of contributing to the townscape, meeting the requirements of Section 78 Clause 3(c) of LPS3.</p>			
History				
Integrity & Authenticity				
Description				
Condition				
Precinct/Parent Pl.	Heritage Precinct			
Listing types	Local Heritage Survey	Adopted [DATE]		
	Heritage List	Adopted [DATE]		
	Heritage Council of Western Australia			
	National Trust of Australia (WA)			
Date	Start		Finish	Circa <input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology		
Other keywords		
Demolition		
Designer		
Builder/maker		
References	Author	Title
		Town of Claremont Rate Books
		Post Office Directories
Owners		

ADDITIONAL IMAGE/S

Caption			
Image year	Image by	Copyright	
[PHOTO]			

RESIDENCE, 2 MARY STREET



SIGNIFICANCE

Significance Level	Considerable Significance: Category 2
Description	Very important to the heritage of the locality. High degree of integrity/authenticity.

LOCATIONAL INFORMATION

LHS No.	345
Name of item	Residence
HCWA No.	07772
ToC Assess No.	2438
Address	2 Mary Street CLAREMONT 6010
Location Desc.	Plan 3258 Lot 23
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and tile
Architectural style	Interwar California Bungalow
Theme	1919-39: Interwar boom and bust
Values	
Statement of Significance	Fine representative example of an Interwar California Bungalow residence. The interior of the place is not of heritage significance. Included in the Heritage List for reasons of contributing to the townscape, meeting the requirements of Section 78 Clause 3(c) of LPS3.
History	

Integrity & Authenticity				
Description	The single-storey building has a broad hipped roof clad with Marseille clay tiles. The tuckpointed brick work extends to a high dado at window head height detailed in a soldier course, with roughcast wall treatment above. Timber framed casement windows are multi-paned in sets of three and four, and have bracketed sills and timber bracketed tiled awnings over. The corner verandah has a vertical timbered balustrade. There is a half-timbered gable on the front facade. The streetscape view is obscured by plantings and a high face brick fence on front boundary.			
Condition				
Precinct/Parent Pl.	Heritage Precinct			
Listing types	Local Heritage Survey		Adopted [DATE]	
	Heritage List		Adopted [DATE]	
	Heritage Council of Western Australia			
	National Trust of Australia (WA)			
Date	Start	1928	Finish	Circa <input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology		
Other keywords		
Demolition		
Designer		
Builder/maker		
References	Author	Title
		Town of Claremont Rate Books
		Post Office Directories
Owners		

ADDITIONAL IMAGE/S

Caption			
Image year	Image by	Copyright	
[PHOTO]			

RESIDENCE, 10 MARY STREET



SIGNIFICANCE

Significance Level	Moderate Significance: Category 3
Description	Contributes to the heritage of the locality. Lower integrity/authenticity, not necessarily detracting from the overall significance of the place.

LOCATIONAL INFORMATION

LHS No.	347
Name of item	Residence
HCWA No.	07773
ToC Assess No.	2451
Address	10 Mary Street CLAREMONT 6010
Location Desc.	Plan P0032 Lots 27 & 28
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Interwar California Bungalow
Theme	1919-39: Interwar boom and bust
Values	
Statement of Significance	Good representative example of an Interwar California Bungalow residence. The interior of the place is not of heritage significance. Included in the Heritage List for reasons of contributing to the townscape, meeting the requirements of Section 78 Clause 3(c) of LPS3.

History	The street location is older than the residential occupation of it, being originally a private right of way between Location 701 and Location 621 which appears to date to the 1890s. Residential development of Mary Street appears to have started in 1902 and was part of a burst of development between 1903-15 which filled in the area between Stirling Highway and the railway line between Mary and Loch Streets. This was the main area of new development for the 1903-15 period and contains most of the Town's stock of housing from this era. By the end of the 1903-15 development period there were 1,240 houses within the town with housing types that were mainly brick Federation Bungalow and Federation Queen Anne with three to five rooms.				
Integrity & Authenticity					
Description	Single-storey face brick with an expansive hipped Zincalume roof with a half-timbered front gablet. Verandah is evident under the main roof to front and side, and has square timber posts on a face limestone foundation.				
Condition					
Precinct/Parent Pl.	Heritage Precinct		Mary Street		
Listing types	Local Heritage Survey		Adopted [DATE]		
	Heritage List		Adopted [DATE]		
	Heritage Council of Western Australia				
	National Trust of Australia (WA)				
Date	Start	1921	Finish		Circa <input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology					
Other keywords					
Demolition					
Designer					
Builder/maker					
References	Author	Title			
		Town of Claremont Rate Books			
		Post Office Directories			
Owners					

ADDITIONAL IMAGE/S

Caption					
Image year		Image by		Copyright	
[PHOTO]					

RESIDENCE, 14 MARY STREET



SIGNIFICANCE

Significance Level	Considerable Significance: Category 2
Description	Very important to the heritage of the locality. High degree of integrity/authenticity.

LOCATIONAL INFORMATION

LHS No.	348
Name of item	Residence
HCWA No.	07774
ToC Assess No.	2455
Address	14 Mary Street CLAREMONT 6010
Location Desc.	Plan 3258 Lot 30
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Fine example of a Federation Bungalow contributing to the streetscape. The interior of the place is not of heritage significance. Included in the Heritage List for reasons of contributing to the townscape, meeting the requirements of Section 78 Clause 3(c) of LPS3.
History	The street location is older than the residential occupation of it, being originally a private right of way between Location 701 and Location 621 which appears to date to the 1890s. Residential development

	of Mary Street appears to have started in 1902 and was part of a burst of development between 1903-15 which filled in the area between Stirling Highway and the railway line between Mary and Loch Streets. This was the main area of new development for the 1903-15 period and contains most of the Town's stock of housing from this era. By the end of the 1903-15 development period there were 1,240 houses within the town with housing types that were mainly brick Federation Bungalow and Federation Queen Anne with three to five rooms.				
Integrity & Authenticity					
Description	Single-storey tuckpointed brickwork with a hipped Zinacalume roof that extends over the full width front verandah. The symmetrical front has a central front door flanked by windows. Decorative elliptical fretwork valance flanks a central arched detail with vertical spaced timbers within the curved brackets.				
Condition					
Precinct/Parent Pl.	Heritage Precinct		Mary Street		
Listing types	Local Heritage Survey		Adopted [DATE]		
	Heritage List		Adopted [DATE]		
	Heritage Council of Western Australia				
	National Trust of Australia (WA)				
Date	Start	1912	Finish		Circa <input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology					
Other keywords					
Demolition					
Designer					
Builder/maker					
References	Author	Title			
		Town of Claremont Rate Books			
		Post Office Directories			
Owners					

ADDITIONAL IMAGE/S

Caption					
Image year		Image by		Copyright	
[PHOTO]					

RESIDENCE, 15 MARY STREET



SIGNIFICANCE

Significance Level	Moderate Significance: Category 3
Description	Contributes to the heritage of the locality. Lower integrity/authenticity, not necessarily detracting from the overall significance of the place.

LOCATIONAL INFORMATION

LHS No.	349
Name of item	Residence
HCWA No.	25702
ToC Assess No.	2456
Address	15 Mary Street CLAREMONT 6010
Location Desc.	Plan 4345 Lot 3
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Good example of a Federation Bungalow contributing to the streetscape. The interior of the place is not of heritage significance. Included in the Heritage List for reasons of having been constructed before 1910, meeting the requirements of Section 78 Clause 3(a) of LPS3.

History	The street location is older than the residential occupation of it, being originally a private right of way between Location 701 and Location 621 which appears to date to the 1890s. Residential development of Mary Street appears to have started in 1902 and was part of a burst of development between 1903-15 which filled in the area between Stirling Highway and the railway line between Mary and Loch Streets. This was the main area of new development for the 1903-15 period and contains most of the Town's stock of housing from this era. By the end of the 1903-15 development period there were 1,240 houses within the town with housing types that were mainly brick Federation Bungalow and Federation Queen Anne with three to five rooms.				
Integrity & Authenticity					
Description	Single-storey painted brickwork with a hipped Zinalume roof that extends over the full width front verandah and carport addition on the side. The symmetrical front has a central front door flanked by sets of three casement windows. The verandah is supported by rendered pillars with pairs of fluted columns.				
Condition					
Precinct/Parent Pl.	Heritage Precinct		Mary Street		
Listing types	Local Heritage Survey		Adopted [DATE]		
	Heritage List		Adopted [DATE]		
	Heritage Council of Western Australia				
	National Trust of Australia (WA)				
Date	Start	1908	Finish		Circa <input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology					
Other keywords					
Demolition					
Designer					
Builder/maker					
References	Author	Title			
		Town of Claremont Rate Books			
		Post Office Directories			
Owners					

ADDITIONAL IMAGE/S

Caption					
Image year		Image by		Copyright	
[PHOTO]					

RESIDENCE, 17 MARY STREET



SIGNIFICANCE

Significance Level	Moderate Significance: Category 3
Description	Contributes to the heritage of the locality. Lower integrity/authenticity, not necessarily detracting from the overall significance of the place.

LOCATIONAL INFORMATION

LHS No.	350
Name of item	Residence
HCWA No.	07775
ToC Assess No.	2458
Address	17 Mary Street CLAREMONT 6010
Location Desc.	Plan 403 Lot 1
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Good example of a Federation Bungalow contributing to the streetscape. The interior of the place is not of heritage significance. Included in the Heritage List for reasons of having been constructed before 1910, meeting the requirements of Section 78 Clause 3(a) of LPS3.

History	The street location is older than the residential occupation of it, being originally a private right of way between Location 701 and Location 621 which appears to date to the 1890s. Residential development of Mary Street appears to have started in 1902 and was part of a burst of development between 1903-15 which filled in the area between Stirling Highway and the railway line between Mary and Loch Streets. This was the main area of new development for the 1903-15 period and contains most of the Town's stock of housing from this era. By the end of the 1903-15 development period there were 1,240 houses within the town with housing types that were mainly brick Federation Bungalow and Federation Queen Anne with three to five rooms.				
Integrity & Authenticity					
Description	Single-storey, painted brickwork and a Zinalume roof. There is a protruding parapeted frontispiece. A double carport with hipped roof with vented hip at apex is in the immediate setback of the property.				
Condition					
Precinct/Parent Pl.	Heritage Precinct		Mary Street		
Listing types	Local Heritage Survey		Adopted [DATE]		
	Heritage List		Adopted [DATE]		
	Heritage Council of Western Australia				
	National Trust of Australia (WA)				
Date	Start	1908	Finish		Circa <input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology					
Other keywords					
Demolition					
Designer					
Builder/maker					
References	Author	Title			
		Town of Claremont Rate Books			
		Post Office Directories			
Owners					

ADDITIONAL IMAGE/S

Caption					
Image year		Image by		Copyright	
[PHOTO]					

RESIDENCE, 18 MARY STREET



SIGNIFICANCE

Significance Level	Considerable Significance: Category 2
Description	Very important to the heritage of the locality. High degree of integrity/authenticity.

LOCATIONAL INFORMATION

LHS No.	351
Name of item	Residence
HCWA No.	07776
ToC Assess No.	2459
Address	18 Mary Street CLAREMONT 6010
Location Desc.	Plan 40971 Lot 801
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Fine example of a Federation Bungalow contributing to the streetscape. The interior of the place is not of heritage significance. Included in the Heritage List for reasons of contributing to the townscape, meeting the requirements of Section 78 Clause 3(c) of LPS3.
History	The street location is older than the residential occupation of it, being originally a private right of way between Location 701 and Location 621 which appears to date to the 1890s. Residential development

	of Mary Street appears to have started in 1902 and was part of a burst of development between 1903-15 which filled in the area between Stirling Highway and the railway line between Mary and Loch Streets. This was the main area of new development for the 1903-15 period and contains most of the Town's stock of housing from this era. By the end of the 1903-15 development period there were 1,240 houses within the town with housing types that were mainly brick Federation Bungalow and Federation Queen Anne with three to five rooms.			
Integrity & Authenticity				
Description	Single-storey face brick with an expansive hipped Zinacalume roof with a decorative front gable detail with shadow timbers in a curved design against a roughcast wall that is part of the rectangular bay window below comprising three casement windows with diamond leadlight glazing. The bay window is under the full width hipped skillion verandah that extends across the front. The verandah evidences exposed eaves and deep turned post brackets infilled with vertical spaced timbers. Tall face brick chimney with a deep rendered panel and clay pot.			
Condition				
Precinct/Parent Pl.	Heritage Precinct		Mary Street	
Listing types	Local Heritage Survey		Adopted [DATE]	
	Heritage List		Adopted [DATE]	
	Heritage Council of Western Australia			
	National Trust of Australia (WA)			
Date	Start	1913	Finish	Circa <input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology			
Other keywords			
Demolition			
Designer			
Builder/maker			
References	Author	Title	
		Town of Claremont Rate Books	
		Post Office Directories	
Owners			

ADDITIONAL IMAGE/S

Caption				
Image year		Image by		Copyright
[PHOTO]				

RESIDENCE, 19 MARY STREET



SIGNIFICANCE

Significance Level	Moderate Significance: Category 3
Description	Contributes to the heritage of the locality. Lower integrity/authenticity, not necessarily detracting from the overall significance of the place.

LOCATIONAL INFORMATION

LHS No.	352
Name of item	Residence
HCWA No.	07777
ToC Assess No.	2460
Address	19 Mary Street CLAREMONT 6010
Location Desc.	Plan 4903 Lot 2
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Good example of a Federation Bungalow contributing to the streetscape. The interior of the place is not of heritage significance. Included in the Heritage List for reasons of having been constructed before 1910, meeting the requirements of Section 78 Clause 3(a) of LPS3.

History	The street location is older than the residential occupation of it, being originally a private right of way between Location 701 and Location 621 which appears to date to the 1890s. Residential development of Mary Street appears to have started in 1902 and was part of a burst of development between 1903-15 which filled in the area between Stirling Highway and the railway line between Mary and Loch Streets. This was the main area of new development for the 1903-15 period and contains most of the Town's stock of housing from this era. By the end of the 1903-15 development period there were 1,240 houses within the town with housing types that were mainly brick Federation Bungalow and Federation Queen Anne with three to five rooms.				
Integrity & Authenticity	High level of authenticity.				
Description	Single-storey brick with a hipped roof clad with Zincalume sheeting that extends over the full width verandah at break pitch.				
Condition					
Precinct/Parent Pl.	Heritage Precinct		Mary Street		
Listing types	Local Heritage Survey		Adopted [DATE]		
	Heritage List		Adopted [DATE]		
	Heritage Council of Western Australia				
	National Trust of Australia (WA)				
Date	Start	1908	Finish		Circa <input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology					
Other keywords					
Demolition					
Designer					
Builder/maker					
References	Author				Title
					Town of Claremont Rate Books
					Post Office Directories
Owners					

ADDITIONAL IMAGE/S

Caption					
Image year		Image by		Copyright	
[PHOTO]					

RESIDENCE, 21 MARY STREET



SIGNIFICANCE

Significance Level	Considerable Significance: Category 2
Description	Very important to the heritage of the locality. High degree of integrity/authenticity.

LOCATIONAL INFORMATION

LHS No.	353
Name of item	Residence
HCWA No.	07778
ToC Assess No.	2462
Address	21 Mary Street CLAREMONT 6010
Location Desc.	Plan 4596 Lot 25
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and tile
Architectural style	Interwar California Bungalow
Theme	1919-39: Interwar boom and bust
Values	
Statement of Significance	Fine representative example of an Interwar California Bungalow residence. The interior of the place is not of heritage significance. Included in the Heritage List for reasons of contributing to the townscape, meeting the requirements of Section 78 Clause 3(c) of LPS3.
History	The street location is older than the residential occupation of it, being originally a private right of way between Location 701 and Location 621 which appears to date to the 1890s. Residential development

	of Mary Street appears to have started in 1902 and was part of a burst of development between 1903-15 which filled in the area between Stirling Highway and the railway line between Mary and Loch Streets. This was the main area of new development for the 1903-15 period and contains most of the Town's stock of housing from this era. By the end of the 1903-15 development period there were 1,240 houses within the town with housing types that were mainly brick Federation Bungalow and Federation Queen Anne with three to five rooms.			
Integrity & Authenticity				
Description	Single-storey painted brickwork. Hipped roof is clad with terracotta tiles and features front half-timbered gable and two smaller gables on side. Roof breaks pitch over verandah that covers half front and extends down side between front and side gables. Verandah is supported by sturdy square posts and spaced vertical timbered balustrade. The gable frontage has a pair of double hung sash windows with multi-paned upper sashes and a timber bracketed tiled awning over.			
Condition				
Precinct/Parent Pl.	Heritage Precinct		Mary Street	
Listing types	Local Heritage Survey		Adopted [DATE]	
	Heritage List		Adopted [DATE]	
	Heritage Council of Western Australia			
	National Trust of Australia (WA)			
Date	Start	1923	Finish	
			Circa	<input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology			
Other keywords			
Demolition			
Designer			
Builder/maker			
References	Author	Title	
		Town of Claremont Rate Books	
		Post Office Directories	
Owners			

ADDITIONAL IMAGE/S

Caption				
Image year		Image by		Copyright
[PHOTO]				

RESIDENCE, 22 MARY STREET



SIGNIFICANCE

Significance Level	Considerable Significance: Category 2
Description	Very important to the heritage of the locality. High degree of integrity/authenticity.

LOCATIONAL INFORMATION

LHS No.	354
Name of item	Residence
HCWA No.	07779
ToC Assess No.	2463
Address	22 Mary Street CLAREMONT 6010
Location Desc.	Plan 3258 Lot 34
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Fine example of a Federation Bungalow contributing to the streetscape. The interior of the place is not of heritage significance. Included in the Heritage List for reasons of contributing to the townscape, meeting the requirements of Section 78 Clause 3(c) of LPS3.
History	The street location is older than the residential occupation of it, being originally a private right of way between Location 701 and Location 621 which appears to date to the 1890s. Residential development

	of Mary Street appears to have started in 1902 and was part of a burst of development between 1903-15 which filled in the area between Stirling Highway and the railway line between Mary and Loch Streets. This was the main area of new development for the 1903-15 period and contains most of the Town's stock of housing from this era. By the end of the 1903-15 development period there were 1,240 houses within the town with housing types that were mainly brick Federation Bungalow and Federation Queen Anne with three to five rooms.			
Integrity & Authenticity				
Description	Single-storey, face brickwork, with a hipped Zinacalume roof, and a central front face brick chimney, with moulded corbel top. The roof features a half-timbered front protruding gable with a set of three casement windows with a bracket at the base and covered at the top by a decorative bracketed awning. A bullnose verandah extends across the front and covers a narrow verandah along the side to the front entry that is recessed. The front wall evidences a bachelor window. The timber-floored verandah is accessed by a flight of three steps.			
Condition				
Precinct/Parent Pl.	Heritage Precinct		Mary Street	
Listing types	Local Heritage Survey		Adopted [DATE]	
	Heritage List		Adopted [DATE]	
	Heritage Council of Western Australia			
	National Trust of Australia (WA)			
Date	Start	1914	Finish	Circa <input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology			
Other keywords			
Demolition			
Designer			
Builder/maker			
References	Author	Title	
		Town of Claremont Rate Books	
		Post Office Directories	
Owners			

ADDITIONAL IMAGE/S

Caption				
Image year		Image by		Copyright
[PHOTO]				

RESIDENCE, 23 MARY STREET



SIGNIFICANCE

Significance Level	Considerable Significance: Category 2
Description	Very important to the heritage of the locality. High degree of integrity/authenticity.

LOCATIONAL INFORMATION

LHS No.	355
Name of item	Residence
HCWA No.	07780
ToC Assess No.	2464
Address	23 Mary Street CLAREMONT 6010
Location Desc.	Plan 678 Lot 7
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Fine example of a Federation Bungalow contributing to the streetscape. The interior of the place is not of heritage significance. Included in the Heritage List for reasons of having been constructed before 1910, meeting the requirements of Section 78 Clause 3(a) of LPS3.
History	The street location is older than the residential occupation of it, being originally a private right of way between Location 701 and Location 621 which appears to date to the 1890s. Residential development

	of Mary Street appears to have started in 1902 and was part of a burst of development between 1903-15 which filled in the area between Stirling Highway and the railway line between Mary and Loch Streets. This was the main area of new development for the 1903-15 period and contains most of the Town's stock of housing from this era. By the end of the 1903-15 development period there were 1,240 houses within the town with housing types that were mainly brick Federation Bungalow and Federation Queen Anne with three to five rooms.			
Integrity & Authenticity				
Description	Single-storey tuckpointed brickwork with rendered band. Gambrel, hipped Zincalume roof has front half-timbered gable. Face brick chimney has deep rendered and moulded corbel top. Bullnose verandah extends across the front and down non-gable side. Verandah is detailed in decorative lattice and vertical valance with deep curved brackets to turned timber posts. Criss-cross balustrade is in front bays of verandah with lattice enclosure above at the end bay (both sides) and further enclosures along side. Timber-floor verandah is elevated on limestone foundation and accessed by flight of curved concrete steps.			
Condition				
Precinct/Parent Pl.	Heritage Precinct	Mary Street		
Listing types	Local Heritage Survey	Adopted [DATE]		
	Heritage List	Adopted [DATE]		
	Heritage Council of Western Australia			
	National Trust of Australia (WA)			
Date	Start	1906	Finish	Circa <input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology			
Other keywords			
Demolition			
Designer			
Builder/maker			
References	Author	Title	
		Town of Claremont Rate Books	
		Post Office Directories	
Owners			

ADDITIONAL IMAGE/S

Caption			
Image year	Image by	Copyright	
[PHOTO]			

RESIDENCE, 24 MARY STREET



SIGNIFICANCE

Significance Level	Considerable Significance: Category 2
Description	Very important to the heritage of the locality. High degree of integrity/authenticity.

LOCATIONAL INFORMATION

LHS No.	356
Name of item	Residence
HCWA No.	07781
ToC Assess No.	2465
Address	24 Mary Street CLAREMONT 6010
Location Desc.	Plan 3258 Lot 35
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and tile
Architectural style	Interwar California Bungalow
Theme	1919-39: Interwar boom and bust
Values	
Statement of Significance	Fine representative example of an Interwar California Bungalow residence. The interior of the place is not of heritage significance. Included in the Heritage List for reasons of contributing to the townscape, meeting the requirements of Section 78 Clause 3(c) of LPS3.
History	The street location is older than the residential occupation of it, being originally a private right of way between Location 701 and Location 621 which appears to date to the 1890s. Residential development

	of Mary Street appears to have started in 1902 and was part of a burst of development between 1903-15 which filled in the area between Stirling Highway and the railway line between Mary and Loch Streets. This was the main area of new development for the 1903-15 period and contains most of the Town's stock of housing from this era. By the end of the 1903-15 development period there were 1,240 houses within the town with housing types that were mainly brick Federation Bungalow and Federation Queen Anne with three to five rooms.				
Integrity & Authenticity					
Description	Single-storey painted brick with a low pitch hipped terracotta tiled roof with a small gablet over a truncated corner. The roof extends over verandahs to the front and one side. It is supported by splayed square timber posts with brackets stepped along the beam. A set of three multi-paned casement windows is on the truncated wall with a multi-paned pair of French doors on the front.				
Condition					
Precinct/Parent Pl.	Heritage Precinct		Mary Street		
Listing types	Local Heritage Survey		Adopted [DATE]		
	Heritage List		Adopted [DATE]		
	Heritage Council of Western Australia				
	National Trust of Australia (WA)				
Date	Start	1923	Finish		Circa <input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology					
Other keywords					
Demolition					
Designer					
Builder/maker					
References	Author	Title			
		Town of Claremont Rate Books			
		Post Office Directories			
Owners					

ADDITIONAL IMAGE/S

Caption					
Image year		Image by		Copyright	
[PHOTO]					

RESIDENCE, 25 MARY STREET



SIGNIFICANCE

Significance Level	Considerable Significance: Category 2
Description	Very important to the heritage of the locality. High degree of integrity/authenticity.

LOCATIONAL INFORMATION

LHS No.	357
Name of item	Residence
HCWA No.	07782
ToC Assess No.	2466
Address	25 Mary Street CLAREMONT 6010
Location Desc.	Plan 678 Lot 6
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Federation Queen Anne
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Fine example of a Federation Queen Anne residence contributing to the streetscape. The interior of the place is not of heritage significance. Included in the Heritage List for reasons of having been constructed before 1910, meeting the requirements of Section 78 Clause 3(a) of LPS3.
History	The street location is older than the residential occupation of it, being originally a private right of way between Location 701 and Location 621 which appears to date to the 1890s. Residential development

	of Mary Street appears to have started in 1902 and was part of a burst of development between 1903-15 which filled in the area between Stirling Highway and the railway line between Mary and Loch Streets. This was the main area of new development for the 1903-15 period and contains most of the Town's stock of housing from this era. By the end of the 1903-15 development period there were 1,240 houses within the town with housing types that were mainly brick Federation Bungalow and Federation Queen Anne with three to five rooms.			
Integrity & Authenticity				
Description	Single-storey painted brickwork with a rendered band. The gambrel hipped Zincalume roof features three half-timbered gables, namely on two protruding gable walls at front and side, linked by a bullnose verandah, and a gable over the truncated corner under the verandah. The verandah is detailed with a decorative circle pattern valance, turned timber posts and vertical timber balustrade with regular decorative verticals. A tall rectangular painted brick chimney is dominant on the front with a deep-corbelled moulding at the top. The timber-floored verandah is elevated on a limestone foundation and accessed by a flight of curved concrete steps. Landscaped garden.			
Condition				
Precinct/Parent Pl.	Heritage Precinct		Mary Street	
Listing types	Local Heritage Survey		Adopted [DATE]	
	Heritage List		Adopted [DATE]	
	Heritage Council of Western Australia			
	National Trust of Australia (WA)			
Date	Start	1909	Finish	
			Circa	<input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology		
Other keywords		
Demolition		
Designer		
Builder/maker		
References	Author	Title
		Town of Claremont Rate Books
		Post Office Directories
Owners		

ADDITIONAL IMAGE/S

Caption			
Image year	Image by	Copyright	
[PHOTO]			

WYANDRA, 4 MELVILLE STREET



SIGNIFICANCE

Significance Level	Considerable Significance: Category 2
Description	Very important to the heritage of the locality. High degree of integrity/authenticity.

LOCATIONAL INFORMATION

LHS No.	358
Name of item	Wyandra
HCWA No.	17545
ToC Assess No.	2146
Address	4 Melville Street CLAREMONT 6010
Location Desc.	Plan 42309 Lot 4
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and tile
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Wyandra is a fine example of a Federation Bungalow. The historical value of the various hospital and medical facilities located there is significant for the Town of Claremont. The interior of the place is not of heritage significance. Included in the Heritage List for reasons of having been constructed before 1910, meeting the requirements of Section 78 Clause 3(a) of LPS3.

History	1951- 1972 preventorium for infants on anti-tuberculosis campaign 1978-2001 and Residential Hostel For Intellectually Disabled Women 1910-1932. Edwin Charles Stott founder of Stott & Co Business College one of best known in Western Australia during the 20th century. Stott retained ownership until 1940s.				
Integrity & Authenticity					
Description	The single-storey brick residence has an expansive frontage with a prominent half-timbered gable. Walls have rendered bands. The face brick walls have recently been tuckpointed. Face limestone foundations are evident due to the elevated location of the residence. The hipped tile roof has an apex gablet. The roof extends over the return front verandah and side verandah at break pitch. The verandah has a new turned timber balustrade and a similar valance with turned timber posts. A curved concrete staircase leads to the entry on the verandah. The chimneys are pointed face brick with deep-corbelled moulding. There is a weatherboard clad skillion extension on the side of the gable frontage.				
Condition					
Precinct/Parent Pl.	Heritage Precinct				
Listing types	Local Heritage Survey	Adopted [DATE]			
	Heritage List	Adopted [DATE]			
	Heritage Council of Western Australia				
	National Trust of Australia (WA)				
Date	Start	1907	Finish	1970	Circa <input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology					
Other keywords					
Demolition					
Designer					
Builder/maker					
References	Author	Title			
		Town of Claremont Rate Books			
		Post Office Directories			
Owners	Sydney Roberts, Registrar of Mines Original Owner Edwin Stott, founder of Stott & Co Business College 1940s owner				

ADDITIONAL IMAGE/S

Caption					
Image year		Image by		Copyright	
[PHOTO]					

RESIDENCE, 13 MELVILLE STREET



SIGNIFICANCE

Significance Level	Considerable Significance: Category 2
Description	Very important to the heritage of the locality. High degree of integrity/authenticity.

LOCATIONAL INFORMATION

LHS No.	359
Name of item	Residence
HCWA No.	17544
ToC Assess No.	2478
Address	13 Melville Street CLAREMONT 6010
Location Desc.	Plan 22914 Lot 1
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Timber and metal
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	A fine representative example of a weatherboard clad Federation Bungalow residence. The interior of the place is not of heritage significance. Included in the Heritage List for reasons of having been constructed before 1910, meeting the requirements of Section 78 Clause 3(a) of LPS3.
History	

Integrity & Authenticity					
Description	The single-storey weatherboard clad residence has a hipped custom orb Zincolume roof with separate front skillion verandah with simple square timber posts. Intrusive double carport in front setback, and high limestone fence.				
Condition					
Precinct/Parent Pl.	Heritage Precinct				
Listing types	Local Heritage Survey		Adopted [DATE]		
	Heritage List		Adopted [DATE]		
	Heritage Council of Western Australia				
	National Trust of Australia (WA)				
Date	Start	1903	Finish		Circa <input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology					
Other keywords					
Demolition					
Designer					
Builder/maker					
References	Author				Title
					Town of Claremont Rate Books
					Post Office Directories
Owners					

ADDITIONAL IMAGE/S

Caption					
Image year		Image by		Copyright	
[PHOTO]					

RESIDENCE, 21 MELVILLE STREET



SIGNIFICANCE

Significance Level	Considerable Significance: Category 2
Description	Very important to the heritage of the locality. High degree of integrity/authenticity.

LOCATIONAL INFORMATION

LHS No.	360
Name of item	Residence
HCWA No.	07784
ToC Assess No.	5146
Address	21 Melville Street CLAREMONT 6010
Location Desc.	Plan 57174 Lot 1
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	A fine representative example of a weatherboard clad Federation Bungalow residence, with historic associations as a private hospital. The interior of the place is not of heritage significance. Included in the Heritage List for reasons of contributing to the townscape, meeting the requirements of Section 78 Clause 3(c) of LPS3.
History	

Integrity & Authenticity					
Description	The single-storey residence has a verandah with an arched timber valance with spaced vertical timber detailing. There is evidence of long profile steel cladding to the roof. The residence is obscured from the street view by mature plantings and a high Colorbond fence on the boundary.				
Condition					
Precinct/Parent Pl.	Heritage Precinct				
Listing types	Local Heritage Survey				Adopted [DATE]
	Heritage List				Adopted [DATE]
	Heritage Council of Western Australia				
	National Trust of Australia (WA)				
Date	Start	1917	Finish		Circa <input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology					
Other keywords					
Demolition					
Designer					
Builder/maker					
References	Author				Title
					Town of Claremont Rate Books
					Post Office Directories
Owners					

ADDITIONAL IMAGE/S

Caption					
Image year		Image by		Copyright	
[PHOTO]					

RESIDENCE, 23 MELVILLE STREET



SIGNIFICANCE

Significance Level	Moderate Significance: Category 3
Description	Contributes to the heritage of the locality. Lower integrity/authenticity, not necessarily detracting from the overall significance of the place.

LOCATIONAL INFORMATION

LHS No.	361
Name of item	Residence
HCWA No.	07785
ToC Assess No.	2488
Address	23 Melville Street CLAREMONT 6010
Location Desc.	Plan 4625 Lot 3
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Federation Bungalow
Theme	1919-39: Interwar boom and bust
Values	
Statement of Significance	A good example of the Federation Bungalow style of architecture which contributes to the streetscape. The interior of the place is not of heritage significance. Included in the Heritage List for reasons of contributing to the townscape, meeting the requirements of Section 78 Clause 3(c) of LPS3.

History	Built 1919 for L. H. Whitewood 1992: Additions and garage			
Integrity & Authenticity				
Description	Single-storey smooth rendered house in Federation Queen Anne style of architecture. Roof is hipped with two tall roughcast rendered chimneys, and a gable over the projecting bay with timber struts. Eaves are lined with timber. Projecting bay has two timber sash windows with rendered sills. Half-length verandah is under continuous metal roof supported by turned timber posts and filigree brackets. Entry door has top and side light panes. Low timber picket fence to boundaries (corner block). There is a rear single-storey addition.			
Condition				
Precinct/Parent Pl.	Heritage Precinct			
Listing types	Local Heritage Survey	Adopted [DATE]		
	Heritage List	Adopted [DATE]		
	Heritage Council of Western Australia			
	National Trust of Australia (WA)			
Date	Start	1919	Finish	Circa <input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology		
Other keywords		
Demolition		
Designer		
Builder/maker		
References	Author	Title
		Town of Claremont Rate Books
		Post Office Directories
Owners		

ADDITIONAL IMAGE/S

Caption			
Image year	Image by	Copyright	
[PHOTO]			

RESERVE STREET GROUP



SIGNIFICANCE

Significance Level	Considerable Significance: Category 2
Description	Very important to the heritage of the locality. High degree of integrity/authenticity.

LOCATIONAL INFORMATION

LHS No.	441
Name of item	Reserve Street Group
HCWA No.	
ToC Assess No.	
Address	4, 6, 10, 12, 14, 16, 18, 22, 24-26, 28-33, 36, 37, 41 Reserve Street CLAREMONT 6010
Location Desc.	
Other names	
Place Type	Group
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	
Architectural style	
Theme	

Values					
Statement of Significance	Reserve Street Group represents a substantial, consistent, and identifiable aesthetic of Federation architecture being predominantly quality residences with fine examples being No. 6 associated with the Presentation College, No. 10, and the home of the builder William Williams at No. 25, in demonstrating the calibre of the residential environment. Together the residences form a significant Federation streetscape environment. Included in the Heritage List for reasons of contributing to the townscape, meeting the requirements of Section 78 Clause 3(c) of LPS3, and classified by the National Trust of Australia (WA), meeting the requirements of Section 78 Clause 4 of LPS3.				
History					
Integrity & Authenticity					
Description					
Condition					
Precinct/Parent Pl.	Heritage Precinct		Reserve Street		
Listing types	Local Heritage Survey		Adopted [DATE]		
	Heritage List		Adopted [DATE]		
	Heritage Council of Western Australia				
	National Trust of Australia (WA)		Classified 8 June 1982		
Date	Start		Finish		Circa <input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology					
Other keywords					
Demolition					
Designer					
Builder/maker					
References	Author	Title			
		Town of Claremont Rate Books			
		Post Office Directories			
Owners					

ADDITIONAL IMAGE/S

Caption					
Image year		Image by		Copyright	
[PHOTO]					

RESIDENCE, 4 RESERVE STREET



SIGNIFICANCE

Significance Level	Moderate Significance: Category 3
Description	Contributes to the heritage of the locality. Lower integrity/authenticity, not necessarily detracting from the overall significance of the place.

LOCATIONAL INFORMATION

LHS No.	442
Name of item	Residence
HCWA No.	08055
ToC Assess No.	2984
Address	4 Reserve Street CLAREMONT 6010
Location Desc.	Plan 4854 Lot 1
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Interwar California Bungalow
Theme	1919-39: Interwar boom and bust
Values	
Statement of Significance	Good representative example of an Interwar California Bungalow residence. The interior of the place is not of heritage significance. Included in the Heritage List for reasons of contributing to the townscape, meeting the requirements of Section 78 Clause 3(c) of LPS3.

History	Many residences in the Reserve Street were constructed during a period of rapid growth in the Town. Population and housing grew steadily with 701 households and businesses in 1905, 872 in 1910 and 1,240 in 1915. The largest area containing houses of this period is the area bounded by Mary, Guger, Melville and Loch Streets and Stirling Highway. Surviving heritage homes from this period indicate that housing types were mainly Federation Bungalow and Federation Queen Anne with three to five rooms.				
Integrity & Authenticity					
Description	Single-storey painted brick residence with symmetrical hipped Zinalume roof and separate hipped skillion perimeter verandah. Timber verandah floor. Tall painted brick chimneys with moulded corbelling and clay pots. Front brick fence.				
Condition					
Precinct/Parent Pl.	Heritage Precinct		Reserve Street		
Listing types	Local Heritage Survey		Adopted [DATE]		
	Heritage List		Adopted [DATE]		
	Heritage Council of Western Australia				
	National Trust of Australia (WA)		Classified 8 June 1982		
Date	Start	1920	Finish		Circa <input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology					
Other keywords					
Demolition					
Designer					
Builder/maker					
References	Author				Title
					Town of Claremont Rate Books
					Post Office Directories
Owners					

ADDITIONAL IMAGE/S

Caption					
Image year		Image by		Copyright	
[PHOTO]					

PRESENTATION CONVENT, 6 RESERVE STREET



SIGNIFICANCE

Significance Level	Considerable Significance: Category 2
Description	Very important to the heritage of the locality. High degree of integrity/authenticity.

LOCATIONAL INFORMATION

LHS No.	443
Name of item	Presentation Convent
HCWA No.	25771
ToC Assess No.	307
Address	6 Reserve Street CLAREMONT 6010
Location Desc.	Plan 4854 Lot 2
Other names	Rose Villa
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Religious
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	
History	Owned by the Order of Presentation Nuns since the early 1940s Many residences in the Reserve Street were constructed during a period of rapid growth in the Town. Population and housing grew steadily with 701 households and businesses in 1905, 872 in 1910 and

	1,240 in 1915. The largest area containing houses of this period is the area bounded by Mary, Guger, Melville and Loch Streets and Stirling Highway. Surviving heritage homes from this period indicate that housing types were mainly Federation Bungalow and Federation Queen Anne with three to five rooms.				
Integrity & Authenticity					
Description	Single-storey, face brick with rendered banding on a face limestone foundation. The hipped Zinalume clad roof has a dominant gable bracketed to the wall above a faceted window bay. The half front and side return verandah has a bullnose roof, spaced vertical timber valance, decorative brackets, pairs of turned timber posts and spaced timber balustrade. Decorative c.1970s block fence.				
Condition					
Precinct/Parent Pl.	Heritage Precinct		Reserve Street		
Listing types	Local Heritage Survey		Adopted [DATE]		
	Heritage List		Adopted [DATE]		
	Heritage Council of Western Australia				
	National Trust of Australia (WA)		Classified 8 June 1982		
Date	Start	1902	Finish		Circa <input checked="" type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology					
Other keywords					
Demolition					
Designer					
Builder/maker					
References	Author				Title
					Town of Claremont Rate Books
					Post Office Directories
Owners	Bernard Stein Original owner (1902-16)				

ADDITIONAL IMAGE/S

Caption					
Image year		Image by		Copyright	
[PHOTO]					

RESIDENCE, 10 RESERVE STREET



SIGNIFICANCE

Significance Level	Considerable Significance: Category 2
Description	Very important to the heritage of the locality. High degree of integrity/authenticity.

LOCATIONAL INFORMATION

LHS No.	444
Name of item	Residence
HCWA No.	08056
ToC Assess No.	2986
Address	10 Reserve Street CLAREMONT 6010
Location Desc.	Plan 31780 Lot 200
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Fine example of a 1914 Federation Bungalow, with associations to the Order of Presentation Nuns since the early 1940s. The interior of the place is not of heritage significance. Included in the Heritage List for reasons of contributing to the townscape, meeting the requirements of Section 78 Clause 3(c) of LPS3, and classified by the National Trust of Australia (WA), meeting the requirements of Section 78 Clause 4 of LPS3.

History	Many residences in the Reserve Street were constructed during a period of rapid growth in the Town. Population and housing grew steadily with 701 households and businesses in 1905, 872 in 1910 and 1,240 in 1915. The largest area containing houses of this period is the area bounded by Mary, Gugeri, Melville and Loch Streets and Stirling Highway. Surviving heritage homes from this period indicate that housing types were mainly Federation Bungalow and Federation Queen Anne with three to five rooms.				
Integrity & Authenticity					
Description	Single-storey, face brick with rendered banding on a face limestone foundation. The hipped Zincalume clad roof has a dominant gable with decorative half-timber on roughcast, and a gable over the truncated verandah corner. A bullnose verandah is faceted around a bay window aligned with the front gable, and extends across the front, truncation and along the side. The verandah has decorative brackets and turned timber posts with a spaced vertical timber valance between the entry posts at the top of the splayed staircase.				
Condition					
Precinct/Parent Pl.	Heritage Precinct		Reserve Street		
Listing types	Local Heritage Survey		Adopted [DATE]		
	Heritage List		Adopted [DATE]		
	Heritage Council of Western Australia				
	National Trust of Australia (WA)		Classified 8 June 1982		
Date	Start	1914	Finish		Circa <input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology					
Other keywords					
Demolition					
Designer					
Builder/maker					
References	Author	Title			
		Town of Claremont Rate Books			
		Post Office Directories			
Owners					

ADDITIONAL IMAGE/S

Caption					
Image year		Image by		Copyright	
[PHOTO]					

ST THOMAS CHURCH (FMR), 12 RESERVE STREET



SIGNIFICANCE

Significance Level	Considerable Significance: Category 2
Description	Very important to the heritage of the locality. High degree of integrity/authenticity.

LOCATIONAL INFORMATION

LHS No.	445
Name of item	St Thomas' Church (fmr)
HCWA No.	08057
ToC Assess No.	2987
Address	12 Reserve Street CLAREMONT 6010
Location Desc.	Plan 70230 Lot 503
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Religious
Constr. Materials	Brick and metal
Architectural style	Federation Gothic
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Fine, simple example of the Federation Gothic applied to a church later converted in the 1970s to a residence. Associated with Claremont's Catholic community. The interior of the place is not of heritage significance.

	Included in the Heritage List for reasons of contributing to the townscape, meeting the requirements of Section 78 Clause 3(c) of LPS3, and classified by the National Trust of Australia (WA), meeting the requirements of Section 78 Clause 4 of LPS3.				
History					
Integrity & Authenticity					
Description	Double volume gable roof with smaller gable entry porch central on the frontage. Brick rendered front fence.				
Condition					
Precinct/Parent Pl.	Heritage Precinct		Reserve Street		
Listing types	Local Heritage Survey		Adopted [DATE]		
	Heritage List		Adopted [DATE]		
	Heritage Council of Western Australia				
	National Trust of Australia (WA)		Classified 8 June 1982		
Date	Start	1912	Finish		Circa <input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology					
Other keywords					
Demolition					
Designer					
Builder/maker					
References	Author				Title
					Town of Claremont Rate Books
					Post Office Directories
Owners					

ADDITIONAL IMAGE/S

Caption					
Image year		Image by		Copyright	
[PHOTO]					

RESIDENCE, 14 RESERVE STREET



SIGNIFICANCE

Significance Level	Considerable Significance: Category 2
Description	Very important to the heritage of the locality. High degree of integrity/authenticity.

LOCATIONAL INFORMATION

LHS No.	446
Name of item	Residence
HCWA No.	08058
ToC Assess No.	2988
Address	14 Reserve Street CLAREMONT 6010
Location Desc.	Plan 31780 Lot 204
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Federation Georgian
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	<p>Fine example of the 1902 Federation Georgian style. The interior of the place is not of heritage significance.</p> <p>Included in the Heritage List for reasons of having been constructed before 1910, meeting the requirements of Section 78 Clause 3(a) of LPS3. Classified by the National Trust of Australia (WA), meeting the requirements of Section 78 Clause 4 of LPS3.</p>

History	Many residences in the Reserve Street were constructed during a period of rapid growth in the Town. Population and housing grew steadily with 701 households and businesses in 1905, 872 in 1910 and 1,240 in 1915. The largest area containing houses of this period is the area bounded by Mary, Gugerri, Melville and Loch Streets and Stirling Highway. Surviving heritage homes from this period indicate that housing types were mainly Federation Bungalow and Federation Queen Anne with three to five rooms.				
Integrity & Authenticity					
Description	Single-storey, face brick with a hipped Zinacalume roof and bullnose verandah. The symmetrical residence has a central entry flanked by double hung sash windows. The verandah has decorative brackets and collared timber posts with vertical timber balustrade between. Central splayed entry steps. Face brick chimney with moulded corbel.				
Condition					
Precinct/Parent Pl.	Heritage Precinct		Reserve Street		
Listing types	Local Heritage Survey		Adopted [DATE]		
	Heritage List		Adopted [DATE]		
	Heritage Council of Western Australia				
	National Trust of Australia (WA)		Classified 8 June 1982		
Date	Start	1902	Finish		Circa <input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology					
Other keywords					
Demolition					
Designer					
Builder/maker					
References	Author	Title			
		Town of Claremont Rate Books			
		Post Office Directories			
Owners					

ADDITIONAL IMAGE/S

Caption					
Image year		Image by		Copyright	
[PHOTO]					

RESIDENCE, 16 RESERVE STREET



SIGNIFICANCE

Significance Level	Moderate Significance: Category 3
Description	Contributes to the heritage of the locality. Lower integrity/authenticity, not necessarily detracting from the overall significance of the place.

LOCATIONAL INFORMATION

LHS No.	447
Name of item	Residence
HCWA No.	08059
ToC Assess No.	2989
Address	16 Reserve Street CLAREMONT 6010
Location Desc.	Plan 6104 Lots 1 & 5
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Good example of a 1910 Federation Bungalow. The interior of the place is not of heritage significance. Included in the Heritage List for reasons of contributing to the townscape, meeting the requirements of Section 78 Clause 3(c) of LPS3, and classified by the National Trust of Australia (WA), meeting the requirements of Section 78 Clause 4 of LPS3.

History	Many residences in the Reserve Street were constructed during a period of rapid growth in the Town. Population and housing grew steadily with 701 households and businesses in 1905, 872 in 1910 and 1,240 in 1915. The largest area containing houses of this period is the area bounded by Mary, Guger, Melville and Loch Streets and Stirling Highway. Surviving heritage homes from this period indicate that housing types were mainly Federation Bungalow and Federation Queen Anne with three to five rooms.				
Integrity & Authenticity					
Description	Single-storey, face brick and rendered banding with a hipped Zincalume clad roof with a dominant decorative half-timbered gable detail. The half front and side return verandah has a bullnose roof and square posts. The roof evidences extensions and interventions.				
Condition					
Precinct/Parent Pl.	Heritage Precinct		Reserve Street		
Listing types	Local Heritage Survey		Adopted [DATE]		
	Heritage List		Adopted [DATE]		
	Heritage Council of Western Australia				
	National Trust of Australia (WA)		Classified 8 June 1982		
Date	Start	1910	Finish		Circa <input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology					
Other keywords					
Demolition					
Designer					
Builder/maker					
References	Author				Title
					Town of Claremont Rate Books
					Post Office Directories
Owners					

ADDITIONAL IMAGE/S

Caption					
Image year		Image by		Copyright	
[PHOTO]					

RESIDENCE, 18 RESERVE STREET



SIGNIFICANCE

Significance Level	Moderate Significance: Category 3
Description	Contributes to the heritage of the locality. Lower integrity/authenticity, not necessarily detracting from the overall significance of the place.

LOCATIONAL INFORMATION

LHS No.	448
Name of item	Residence
HCWA No.	08060
ToC Assess No.	2990
Address	18 Reserve Street CLAREMONT 6010
Location Desc.	Plan 6104 Lot 2
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Good example of a 1909 Federation Bungalow. The interior of the place is not of heritage significance. Included in the Heritage List for reasons of having been constructed before 1910, meeting the requirements of Section 78 Clause 3(a) of LPS3. Classified by the National Trust of Australia (WA), meeting the requirements of Section 78 Clause 4 of LPS3.

History	Many residences in the Reserve Street were constructed during a period of rapid growth in the Town. Population and housing grew steadily with 701 households and businesses in 1905, 872 in 1910 and 1,240 in 1915. The largest area containing houses of this period is the area bounded by Mary, Guger, Melville and Loch Streets and Stirling Highway. Surviving heritage homes from this period indicate that housing types were mainly Federation Bungalow and Federation Queen Anne with three to five rooms.				
Integrity & Authenticity					
Description	Single-storey painted brick with a hipped Zinacalume clad roof with a dominant decorative half-timbered gable detail. The half front and side return verandah has a bullnose roof and decorative valance. The roof evidences extensions and interventions.				
Condition					
Precinct/Parent Pl.	Heritage Precinct		Reserve Street		
Listing types	Local Heritage Survey		Adopted [DATE]		
	Heritage List		Adopted [DATE]		
	Heritage Council of Western Australia				
	National Trust of Australia (WA)		Classified 8 June 1982		
Date	Start	1909	Finish		Circa <input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology					
Other keywords					
Demolition					
Designer					
Builder/maker					
References	Author				Title
					Town of Claremont Rate Books
					Post Office Directories
Owners					

ADDITIONAL IMAGE/S

Caption					
Image year		Image by		Copyright	
[PHOTO]					

RESIDENCE, 22 RESERVE STREET



SIGNIFICANCE

Significance Level	Moderate Significance: Category 3
Description	Contributes to the heritage of the locality. Lower integrity/authenticity, not necessarily detracting from the overall significance of the place.

LOCATIONAL INFORMATION

LHS No.	449
Name of item	Residence
HCWA No.	08061
ToC Assess No.	2992
Address	22 Reserve Street CLAREMONT 6010
Location Desc.	Plan 57240 Lot 100
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and tile
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Good example of a 1908 Federation Bungalow. The interior of the place is not of heritage significance. Included in the Heritage List for reasons of having been constructed before 1910, meeting the requirements of Section 78 Clause 3(a) of LPS3. Classified by the National Trust of Australia (WA), meeting the requirements of Section 78 Clause 4 of LPS3.

History	Many residences in the Reserve Street were constructed during a period of rapid growth in the Town. Population and housing grew steadily with 701 households and businesses in 1905, 872 in 1910 and 1,240 in 1915. The largest area containing houses of this period is the area bounded by Mary, Gugeri, Melville and Loch Streets and Stirling Highway. Surviving heritage homes from this period indicate that housing types were mainly Federation Bungalow and Federation Queen Anne with three to five rooms.				
Integrity & Authenticity					
Description	Single-storey painted brick with a hipped cement tile roof with a dominant decorative half-timbered gable detail above a pair of double hung sash windows with a timbered-bracketed awning over. The half front and side return verandah has a break pitch roof and is supported by collared square posts and vertical spaced board valance.				
Condition					
Precinct/Parent Pl.	Heritage Precinct		Reserve Street		
Listing types	Local Heritage Survey		Adopted [DATE]		
	Heritage List		Adopted [DATE]		
	Heritage Council of Western Australia				
	National Trust of Australia (WA)		Classified 8 June 1982		
Date	Start	1908	Finish		Circa <input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology					
Other keywords					
Demolition					
Designer					
Builder/maker					
References	Author	Title			
		Town of Claremont Rate Books			
		Post Office Directories			
Owners					

ADDITIONAL IMAGE/S

Caption					
Image year		Image by		Copyright	
[PHOTO]					

RESIDENCE, 24 RESERVE STREET



SIGNIFICANCE

Significance Level	Considerable Significance: Category 2
Description	Very important to the heritage of the locality. High degree of integrity/authenticity.

LOCATIONAL INFORMATION

LHS No.	450
Name of item	Residence
HCWA No.	08062
ToC Assess No.	5145
Address	24 Reserve Street CLAREMONT 6010
Location Desc.	Plan 31783 Lot 209
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Fine example of a 1905 Federation Bungalow. The interior of the place is not of heritage significance. Included in the Heritage List for reasons of having been constructed before 1910, meeting the requirements of Section 78 Clause 3(a) of LPS3. Classified by the National Trust of Australia (WA), meeting the requirements of Section 78 Clause 4 of LPS3.
History	Many residences in the Reserve Street were constructed during a period of rapid growth in the Town. Population and housing grew steadily with 701 households and businesses in 1905, 872 in 1910 and

	1,240 in 1915. The largest area containing houses of this period is the area bounded by Mary, Guger, Melville and Loch Streets and Stirling Highway. Surviving heritage homes from this period indicate that housing types were mainly Federation Bungalow and Federation Queen Anne with three to five rooms.					
Integrity & Authenticity						
Description	Single-storey with double storey addition in 1918. Unpainted brick with a hipped corrugated iron roof.					
Condition						
Precinct/Parent Pl.	Heritage Precinct			Reserve Street		
Listing types	Local Heritage Survey			Adopted [DATE]		
	Heritage List			Adopted [DATE]		
	Heritage Council of Western Australia					
	National Trust of Australia (WA)			Classified 8 June 1982		
Date	Start	1905	Finish	1918	Circa	<input checked="" type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology						
Other keywords						
Demolition						
Designer						
Builder/maker						
References	Author					Title
						Town of Claremont Rate Books
						Post Office Directories
Owners						

ADDITIONAL IMAGE/S

Caption						
Image year		Image by		Copyright		
[PHOTO]						

RESIDENCE, 25 RESERVE STREET



SIGNIFICANCE

Significance Level	Considerable Significance: Category 2
Description	Very important to the heritage of the locality. High degree of integrity/authenticity.

LOCATIONAL INFORMATION

LHS No.	451
Name of item	Residence
HCWA No.	08063
ToC Assess No.	2994
Address	25 Reserve Street CLAREMONT 6010
Location Desc.	Plan 55016 Lot 100
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Fine example of a 1902 Federation Bungalow. The interior of the place is not of heritage significance. Included in the Heritage List for reasons of having been constructed before 1910, meeting the requirements of Section 78 Clause 3(a) of LPS3. Classified by the National Trust of Australia (WA), meeting the requirements of Section 78 Clause 4 of LPS3.
History	Many residences in the Reserve Street were constructed during a period of rapid growth in the Town. Population and housing grew steadily with 701 households and businesses in 1905, 872 in 1910 and

	1,240 in 1915. The largest area containing houses of this period is the area bounded by Mary, Gugeri, Melville and Loch Streets and Stirling Highway. Surviving heritage homes from this period indicate that housing types were mainly Federation Bungalow and Federation Queen Anne with three to five rooms.				
Integrity & Authenticity					
Description	Single-storey painted brick with hipped gambrel Zincalume clad roof with dominant decorative half-timbered gable detail. Gable detail includes decorative fretwork in circular pattern and gable overhangs faceted bay window below. Window comprises three facets each with pair of casement windows with coloured fanlights above forming continuum. Another gable identifies truncated corner of bullnose verandah that wraps front and side, and there is another gable on the outside edge of the truncated verandah at the entry. The tall painted chimney has moulded corbelling. There is a dormer window in the main roof.				
Condition					
Precinct/Parent Pl.	Heritage Precinct		Reserve Street		
Listing types	Local Heritage Survey		Adopted [DATE]		
	Heritage List		Adopted [DATE]		
	Heritage Council of Western Australia				
	National Trust of Australia (WA)		Classified 8 June 1982		
Date	Start	1902	Finish		Circa <input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology					
Other keywords					
Demolition					
Designer					
Builder/maker					
References	Author				Title
					Town of Claremont Rate Books
					Post Office Directories
Owners					

ADDITIONAL IMAGE/S

Caption					
Image year		Image by		Copyright	
[PHOTO]					

RESIDENCE, 26 RESERVE STREET



SIGNIFICANCE

Significance Level	Considerable Significance: Category 2
Description	Very important to the heritage of the locality. High degree of integrity/authenticity.

LOCATIONAL INFORMATION

LHS No.	452
Name of item	Residence
HCWA No.	08064
ToC Assess No.	2995
Address	26 Reserve Street CLAREMONT 6010
Location Desc.	Plan 77525 Lot 101
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Fine example of a 1907 Federation Bungalow. The interior of the place is not of heritage significance. Included in the Heritage List for reasons of having been constructed before 1910, meeting the requirements of Section 78 Clause 3(a) of LPS3. Classified by the National Trust of Australia (WA), meeting the requirements of Section 78 Clause 4 of LPS3.
History	Many residences in the Reserve Street were constructed during a period of rapid growth in the Town. Population and housing grew steadily with 701 households and businesses in 1905, 872 in 1910 and

	1,240 in 1915. The largest area containing houses of this period is the area bounded by Mary, Guger, Melville and Loch Streets and Stirling Highway. Surviving heritage homes from this period indicate that housing types were mainly Federation Bungalow and Federation Queen Anne with three to five rooms.				
Integrity & Authenticity					
Description	Single-storey tuckpointed brick with rendered banding and hipped Colorbond roof with decorative half-timbered gables to front and side, terminating the break pitch verandah running between. Three-part frontage evidences set of three double hung sash windows on gable wall, with timber bracketed concave roofed awning over, French doors, and on furthest recessed, front door with side lights and fanlight. Verandah has curved brackets and turned timber posts. Tall painted chimney has moulded corbelling.				
Condition					
Precinct/Parent Pl.	Heritage Precinct		Reserve Street		
Listing types	Local Heritage Survey		Adopted [DATE]		
	Heritage List		Adopted [DATE]		
	Heritage Council of Western Australia				
	National Trust of Australia (WA)		Classified 8 June 1982		
Date	Start	1907	Finish		Circa <input checked="" type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology					
Other keywords					
Demolition					
Designer					
Builder/maker					
References	Author				Title
					Town of Claremont Rate Books
					Post Office Directories
Owners					

ADDITIONAL IMAGE/S

Caption					
Image year		Image by		Copyright	
[PHOTO]					

RESIDENCE, 27 RESERVE STREET



SIGNIFICANCE

Significance Level	Moderate Significance: Category 3
Description	Contributes to the heritage of the locality. Lower integrity/authenticity, not necessarily detracting from the overall significance of the place.

LOCATIONAL INFORMATION

LHS No.	453
Name of item	Residence
HCWA No.	08065
ToC Assess No.	2996
Address	27 Reserve Street CLAREMONT 6010
Location Desc.	Plan 22094 Lot 2
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Interwar California Bungalow
Theme	1919-39: Interwar boom and bust
Values	
Statement of Significance	Good representative example of an Interwar California Bungalow residence. The interior of the place is not of heritage significance. Included in the Heritage List for reasons of contributing to the townscape, meeting the requirements of Section 78 Clause 3(c) of LPS3. Classified by the National Trust of Australia (WA), meeting the requirements of Section 78 Clause 4 of LPS3.

History	Many residences in the Reserve Street were constructed during a period of rapid growth in the Town. Population and housing grew steadily with 701 households and businesses in 1905, 872 in 1910 and 1,240 in 1915. The largest area containing houses of this period is the area bounded by Mary, Gugeri, Melville and Loch Streets and Stirling Highway. Surviving heritage homes from this period indicate that housing types were mainly Federation Bungalow and Federation Queen Anne with three to five rooms.			
Integrity & Authenticity				
Description	Single-storey rendered masonry and iron gable roofed house with asymmetrical façade. Front room and verandah under large main gabled roof. Verandah to two sides supported by pairs of square timber posts on rendered masonry half pillars. Timber valance to verandah. Large two storey addition to rear c.1995, and 1992 single carport to front, however original form is readable. Tiled roof replaced with Zincalume since 1995.			
Condition				
Precinct/Parent Pl.	Heritage Precinct			
Listing types	Local Heritage Survey	Adopted [DATE]		
	Heritage List	Adopted [DATE]		
	Heritage Council of Western Australia			
	National Trust of Australia (WA)			
Date	Start	1928	Finish	Circa <input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology			
Other keywords			
Demolition			
Designer			
Builder/maker			
References	Author	Title	
		Town of Claremont Rate Books	
		Post Office Directories	
Owners	Alice Beatrice Linda Yole Original Owner		

ADDITIONAL IMAGE/S

Caption				
Image year		Image by		Copyright
[PHOTO]				

RESIDENCE, 28 RESERVE STREET



SIGNIFICANCE

Significance Level	Considerable Significance: Category 2
Description	Very important to the heritage of the locality. High degree of integrity/authenticity.

LOCATIONAL INFORMATION

LHS No.	454
Name of item	Residence
HCWA No.	08066
ToC Assess No.	2997
Address	28 Reserve Street CLAREMONT 6010
Location Desc.	Plan 77524 Lot 102
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Fine example of a 1904 Federation Bungalow. The interior of the place is not of heritage significance. Included in the Heritage List for reasons of having been constructed before 1910, meeting the requirements of Section 78 Clause 3(a) of LPS3. Classified by the National Trust of Australia (WA), meeting the requirements of Section 78 Clause 4 of LPS3.
History	Many residences in the Reserve Street were constructed during a period of rapid growth in the Town. Population and housing grew steadily with 701 households and businesses in 1905, 872 in 1910 and

	1,240 in 1915. The largest area containing houses of this period is the area bounded by Mary, Guger, Melville and Loch Streets and Stirling Highway. Surviving heritage homes from this period indicate that housing types were mainly Federation Bungalow and Federation Queen Anne with three to five rooms.				
Integrity & Authenticity					
Description	Single-storey painted brick with rendered banding, on a face limestone foundation. The roof is hipped and clad with Zincolume sheeting. There is a dominant decorative front gable detail that includes decorative fretwork stylised diamond shapes that are replicated in fretwork across the verandah valance and brackets, with turned timber posts. The verandah is a separate hipped skillion across the entire frontage (including in front of the gable) and returns down both sides, although one side has the entry recessed back in line with a castellan element. The tall painted chimney has moulded corbelling.				
Condition					
Precinct/Parent Pl.	Heritage Precinct		Reserve Street		
Listing types	Local Heritage Survey		Adopted [DATE]		
	Heritage List		Adopted [DATE]		
	Heritage Council of Western Australia				
	National Trust of Australia (WA)		Classified 8 June 1982		
Date	Start	1905	Finish		Circa <input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology					
Other keywords					
Demolition					
Designer					
Builder/maker					
References	Author				Title
					Town of Claremont Rate Books
					Post Office Directories
Owners					

ADDITIONAL IMAGE/S

Caption					
Image year		Image by		Copyright	
[PHOTO]					

RESIDENCE, 29 RESERVE STREET



SIGNIFICANCE

Significance Level	Considerable Significance: Category 2
Description	Very important to the heritage of the locality. High degree of integrity/authenticity.

LOCATIONAL INFORMATION

LHS No.	455
Name of item	Residence
HCWA No.	08067
ToC Assess No.	2998
Address	29 Reserve Street CLAREMONT 6010
Location Desc.	Plan 1234 Lot 50
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Fine example of a 1904 Federation Bungalow. The interior of the place is not of heritage significance. Included in the Heritage List for reasons of having been constructed before 1910, meeting the requirements of Section 78 Clause 3(a) of LPS3. Classified by the National Trust of Australia (WA), meeting the requirements of Section 78 Clause 4 of LPS3.
History	Many residences in the Reserve Street were constructed during a period of rapid growth in the Town. Population and housing grew steadily with 701 households and businesses in 1905, 872 in 1910 and

	1,240 in 1915. The largest area containing houses of this period is the area bounded by Mary, Guger, Melville and Loch Streets and Stirling Highway. Surviving heritage homes from this period indicate that housing types were mainly Federation Bungalow and Federation Queen Anne with three to five rooms.				
Integrity & Authenticity					
Description	Single-storey painted brick with a simple hipped Zinalume clad roof. The symmetrical frontage has a central front door flanked by double hung sash windows. A bullnose verandah runs across the front. The valance is spaced turned timbers with decorative brackets and turned timber posts. Tall face brick chimney with rendered corbelling.				
Condition					
Precinct/Parent Pl.	Heritage Precinct		Reserve Street		
Listing types	Local Heritage Survey		Adopted [DATE]		
	Heritage List		Adopted [DATE]		
	Heritage Council of Western Australia				
	National Trust of Australia (WA)		Classified 8 June 1982		
Date	Start	1904	Finish		Circa <input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology					
Other keywords					
Demolition					
Designer					
Builder/maker					
References	Author	Title			
		Town of Claremont Rate Books			
		Post Office Directories			
Owners					

ADDITIONAL IMAGE/S

Caption					
Image year		Image by		Copyright	
[PHOTO]					

RESIDENCE, 30 RESERVE STREET



SIGNIFICANCE

Significance Level	Moderate Significance: Category 3
Description	Contributes to the heritage of the locality. Lower integrity/authenticity, not necessarily detracting from the overall significance of the place.

LOCATIONAL INFORMATION

LHS No.	456
Name of item	Residence
HCWA No.	08068
ToC Assess No.	2999
Address	30 Reserve Street CLAREMONT 6010
Location Desc.	Plan 31784 Lot 213
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Good example of a 1913 Federation Bungalow. The interior of the place is not of heritage significance. Included in the Heritage List for reasons of contributing to the townscape, meeting the requirements of Section 78 Clause 3(c) of LPS3, and classified by the National Trust of Australia (WA), meeting the requirements of Section 78 Clause 4 of LPS3.

History	Many residences in the Reserve Street were constructed during a period of rapid growth in the Town. Population and housing grew steadily with 701 households and businesses in 1905, 872 in 1910 and 1,240 in 1915. The largest area containing houses of this period is the area bounded by Mary, Gugeri, Melville and Loch Streets and Stirling Highway. Surviving heritage homes from this period indicate that housing types were mainly Federation Bungalow and Federation Queen Anne with three to five rooms.				
Integrity & Authenticity					
Description	Single-storey painted brick with a hipped Zinalume clad roof with a dominant half-timbered shadow gable detail. A bullnose verandah runs across the front beyond the gable wall on both sides. It has a spaced vertical timber valance and turned timber posts. There is an expansive double storey addition at the rear, and a triple carport with symmetrical hipped roof and valance and post details as to the residence.				
Condition					
Precinct/Parent Pl.	Heritage Precinct		Reserve Street		
Listing types	Local Heritage Survey		Adopted [DATE]		
	Heritage List		Adopted [DATE]		
	Heritage Council of Western Australia				
	National Trust of Australia (WA)		Classified 8 June 1982		
Date	Start	1913	Finish		Circa <input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology					
Other keywords					
Demolition					
Designer					
Builder/maker					
References	Author	Title			
		Town of Claremont Rate Books			
		Post Office Directories			
Owners					

ADDITIONAL IMAGE/S

Caption					
Image year		Image by		Copyright	
[PHOTO]					

RESIDENCE, 31 RESERVE STREET



SIGNIFICANCE

Significance Level	Moderate Significance: Category 3
Description	Contributes to the heritage of the locality. Lower integrity/authenticity, not necessarily detracting from the overall significance of the place.

LOCATIONAL INFORMATION

LHS No.	457
Name of item	Residence
HCWA No.	08069
ToC Assess No.	3000
Address	31 Reserve Street CLAREMONT 6010
Location Desc.	Plan 1234 Lot 51
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Good example of a 1910 Federation Bungalow. The interior of the place is not of heritage significance. Included in the Heritage List for reasons of contributing to the townscape, meeting the requirements of Section 78 Clause 3(c) of LPS3, and classified by the National Trust of Australia (WA), meeting the requirements of Section 78 Clause 4 of LPS3.

History	Many residences in the Reserve Street were constructed during a period of rapid growth in the Town. Population and housing grew steadily with 701 households and businesses in 1905, 872 in 1910 and 1,240 in 1915. The largest area containing houses of this period is the area bounded by Mary, Gugerri, Melville and Loch Streets and Stirling Highway. Surviving heritage homes from this period indicate that housing types were mainly Federation Bungalow and Federation Queen Anne with three to five rooms.				
Integrity & Authenticity					
Description	Single-storey painted brick with a hipped Zinalume clad roof. The dominant half-timbered gable has a set of two double hung windows with a timbered bracketed curved awning over. A bullnose verandah runs across the front extends to form a carport on the side. The valance is spaced vertical timbers with lace brackets and turned timber posts. There is an expansive double storey addition at the rear.				
Condition					
Precinct/Parent Pl.	Heritage Precinct		Reserve Street		
Listing types	Local Heritage Survey		Adopted [DATE]		
	Heritage List		Adopted [DATE]		
	Heritage Council of Western Australia				
	National Trust of Australia (WA)		Classified 8 June 1982		
Date	Start	1910	Finish		Circa <input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology					
Other keywords					
Demolition					
Designer					
Builder/maker					
References	Author	Title			
		Town of Claremont Rate Books			
		Post Office Directories			
Owners					

ADDITIONAL IMAGE/S

Caption					
Image year		Image by		Copyright	
[PHOTO]					

RESIDENCE, 32 RESERVE STREET



SIGNIFICANCE

Significance Level	Moderate Significance: Category 3
Description	Contributes to the heritage of the locality. Lower integrity/authenticity, not necessarily detracting from the overall significance of the place.

LOCATIONAL INFORMATION

LHS No.	458
Name of item	Residence
HCWA No.	08070
ToC Assess No.	3001
Address	32 Reserve Street CLAREMONT 6010
Location Desc.	Plan 31784 Lot 216
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Good example of a 1912 Federation Bungalow. The interior of the place is not of heritage significance. Included in the Heritage List for reasons of contributing to the townscape, meeting the requirements of Section 78 Clause 3(c) of LPS3, and classified by the National Trust of Australia (WA), meeting the requirements of Section 78 Clause 4 of LPS3.

History	Many residences in the Reserve Street were constructed during a period of rapid growth in the Town. Population and housing grew steadily with 701 households and businesses in 1905, 872 in 1910 and 1,240 in 1915. The largest area containing houses of this period is the area bounded by Mary, Gugeri, Melville and Loch Streets and Stirling Highway. Surviving heritage homes from this period indicate that housing types were mainly Federation Bungalow and Federation Queen Anne with three to five rooms.				
Integrity & Authenticity					
Description	Single-storey tuckpointed brick with rendered banding. The hipped Zinacalume clad roof has a dominant gable detailed with a half circle horizontal vent. A bullnose verandah runs across the front beyond the gable wall on both sides to adjoining a gable on one side. Tall face brick chimneys have deep stucco panels.				
Condition					
Precinct/Parent Pl.	Heritage Precinct		Reserve Street		
Listing types	Local Heritage Survey		Adopted [DATE]		
	Heritage List		Adopted [DATE]		
	Heritage Council of Western Australia				
	National Trust of Australia (WA)		Classified 8 June 1982		
Date	Start	1912	Finish		Circa <input checked="" type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology					
Other keywords					
Demolition					
Designer					
Builder/maker					
References	Author	Title			
		Town of Claremont Rate Books			
		Post Office Directories			
Owners					

ADDITIONAL IMAGE/S

Caption					
Image year		Image by		Copyright	
[PHOTO]					

RESIDENCE, 33 RESERVE STREET



SIGNIFICANCE

Significance Level	Considerable Significance: Category 2
Description	Very important to the heritage of the locality. High degree of integrity/authenticity.

LOCATIONAL INFORMATION

LHS No.	459
Name of item	Residence
HCWA No.	08071
ToC Assess No.	3002
Address	33 Reserve Street CLAREMONT 6010
Location Desc.	Plan 1234 Lot 52
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Fine example of a 1905 Federation Bungalow. The interior of the place is not of heritage significance. Included in the Heritage List for reasons of having been constructed before 1910, meeting the requirements of Section 78 Clause 3(a) of LPS3. Classified by the National Trust of Australia (WA), meeting the requirements of Section 78 Clause 4 of LPS3.
History	Many residences in the Reserve Street were constructed during a period of rapid growth in the Town. Population and housing grew steadily with 701 households and businesses in 1905, 872 in 1910 and

	1,240 in 1915. The largest area containing houses of this period is the area bounded by Mary, Guger, Melville and Loch Streets and Stirling Highway. Surviving heritage homes from this period indicate that housing types were mainly Federation Bungalow and Federation Queen Anne with three to five rooms.				
Integrity & Authenticity					
Description	Single-storey tuckpointed brick with rendered banding. The hipped Colorbond clad roof has a dominant half-timbered on roughcast gable detail. A hipped skillion verandah wraps the gable wall and the return side of the frontage, extending beyond the gable wall to encompass the entry where a set of concrete steps identify the entry. The verandah is detailed with spaced turned verticals and has decorative brackets and turned timber posts.				
Condition					
Precinct/Parent Pl.	Heritage Precinct		Reserve Street		
Listing types	Local Heritage Survey		Adopted [DATE]		
	Heritage List		Adopted [DATE]		
	Heritage Council of Western Australia				
	National Trust of Australia (WA)		Classified 8 June 1982		
Date	Start	1905	Finish		Circa <input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology					
Other keywords					
Demolition					
Designer					
Builder/maker					
References	Author	Title			
		Town of Claremont Rate Books			
		Post Office Directories			
Owners					

ADDITIONAL IMAGE/S

Caption					
Image year		Image by		Copyright	
[PHOTO]					

RESIDENCE, 36 RESERVE STREET



SIGNIFICANCE

Significance Level	Moderate Significance: Category 3
Description	Contributes to the heritage of the locality. Lower integrity/authenticity, not necessarily detracting from the overall significance of the place.

LOCATIONAL INFORMATION

LHS No.	460
Name of item	Residence
HCWA No.	08072
ToC Assess No.	3006
Address	36 Reserve Street CLAREMONT 6010
Location Desc.	Plan 31784 Lot 219
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Good example of a 1912 Federation Bungalow. The interior of the place is not of heritage significance. Included in the Heritage List for reasons of contributing to the townscape, meeting the requirements of Section 78 Clause 3(c) of LPS3, and classified by the National Trust of Australia (WA), meeting the requirements of Section 78 Clause 4 of LPS3.

History	Many residences in the Reserve Street were constructed during a period of rapid growth in the Town. Population and housing grew steadily with 701 households and businesses in 1905, 872 in 1910 and 1,240 in 1915. The largest area containing houses of this period is the area bounded by Mary, Gugeri, Melville and Loch Streets and Stirling Highway. Surviving heritage homes from this period indicate that housing types were mainly Federation Bungalow and Federation Queen Anne with three to five rooms.				
Integrity & Authenticity					
Description	Single-storey with a simple hipped Zinalume clad roof that has a gable over the protruding front room and a separate bullnose verandah.				
Condition					
Precinct/Parent Pl.	Heritage Precinct		Reserve Street		
Listing types	Local Heritage Survey		Adopted [DATE]		
	Heritage List		Adopted [DATE]		
	Heritage Council of Western Australia				
	National Trust of Australia (WA)		Classified 8 June 1982		
Date	Start	1912	Finish		Circa <input checked="" type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology					
Other keywords					
Demolition					
Designer					
Builder/maker					
References	Author	Title			
		Town of Claremont Rate Books			
		Post Office Directories			
Owners					

ADDITIONAL IMAGE/S

Caption					
Image year		Image by		Copyright	
[PHOTO]					

RESIDENCE, 37 RESERVE STREET



SIGNIFICANCE

Significance Level	Considerable Significance: Category 2
Description	Very important to the heritage of the locality. High degree of integrity/authenticity.

LOCATIONAL INFORMATION

LHS No.	461
Name of item	Residence
HCWA No.	08073
ToC Assess No.	3006
Address	37 Reserve Street CLAREMONT 6010
Location Desc.	Plan 1234 Lot 54
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Fine example of a 1904 Federation Bungalow. The interior of the place is not of heritage significance. Included in the Heritage List for reasons of having been constructed before 1910, meeting the requirements of Section 78 Clause 3(a) of LPS3. Classified by the National Trust of Australia (WA), meeting the requirements of Section 78 Clause 4 of LPS3.
History	Many residences in the Reserve Street were constructed during a period of rapid growth in the Town. Population and housing grew steadily with 701 households and businesses in 1905, 872 in 1910 and

	1,240 in 1915. The largest area containing houses of this period is the area bounded by Mary, Guger, Melville and Loch Streets and Stirling Highway. Surviving heritage homes from this period indicate that housing types were mainly Federation Bungalow and Federation Queen Anne with three to five rooms.				
Integrity & Authenticity					
Description	Single-storey painted brick with a simple hipped Zincalume clad roof. The symmetrical frontage has a central front door flanked by pairs of French doors. A bullnose verandah runs across the front and extends to form a carport on the side. The valance is spaced vertical timber with decorative brackets and turned timber posts. There is an expansive double storey addition at the rear.				
Condition					
Precinct/Parent Pl.	Heritage Precinct		Reserve Street		
Listing types	Local Heritage Survey		Adopted [DATE]		
	Heritage List		Adopted [DATE]		
	Heritage Council of Western Australia				
	National Trust of Australia (WA)		Classified 8 June 1982		
Date	Start	1904	Finish		Circa <input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology					
Other keywords					
Demolition					
Designer					
Builder/maker					
References	Author				Title
					Town of Claremont Rate Books
					Post Office Directories
Owners					

ADDITIONAL IMAGE/S

Caption					
Image year		Image by		Copyright	
[PHOTO]					

RESIDENCE, 41 RESERVE STREET



SIGNIFICANCE

Significance Level	Considerable Significance: Category 2
Description	Very important to the heritage of the locality. High degree of integrity/authenticity.

LOCATIONAL INFORMATION

LHS No.	462
Name of item	Residence
HCWA No.	08074
ToC Assess No.	3009
Address	41 Reserve Street CLAREMONT 6010
Location Desc.	Plan 1234 Lot 56
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Fine example of a 1905 Federation Bungalow. The interior of the place is not of heritage significance. Included in the Heritage List for reasons of having been constructed before 1910, meeting the requirements of Section 78 Clause 3(a) of LPS3. Classified by the National Trust of Australia (WA), meeting the requirements of Section 78 Clause 4 of LPS3.
History	Many residences in the Reserve Street were constructed during a period of rapid growth in the Town. Population and housing grew steadily with 701 households and businesses in 1905, 872 in 1910 and

	1,240 in 1915. The largest area containing houses of this period is the area bounded by Mary, Guger, Melville and Loch Streets and Stirling Highway. Surviving heritage homes from this period indicate that housing types were mainly Federation Bungalow and Federation Queen Anne with three to five rooms.				
Integrity & Authenticity					
Description	Single-storey tuckpointed brick with rendered banding, on a face limestone foundation. The hipped Zincalume (long profile) clad roof has a dominant half-timbered gable with a set of three casement windows below a bracketed awning. The separate skillion verandah is detailed with spaced vertical timber valance. The tall face brick chimney has a deep moulded corbel and clay pots. There is a carport addition on the side.				
Condition					
Precinct/Parent Pl.	Heritage Precinct		Reserve Street		
Listing types	Local Heritage Survey		Adopted [DATE]		
	Heritage List		Adopted [DATE]		
	Heritage Council of Western Australia				
	National Trust of Australia (WA)		Classified 8 June 1982		
Date	Start	1905	Finish		Circa <input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology					
Other keywords					
Demolition					
Designer					
Builder/maker					
References	Author	Title			
		Town of Claremont Rate Books			
		Post Office Directories			
Owners					

ADDITIONAL IMAGE/S

Caption					
Image year		Image by		Copyright	
[PHOTO]					

RESIDENCE, 1 SMITH STREET



SIGNIFICANCE

Significance Level	Considerable Significance: Category 2
Description	Very important to the heritage of the locality. High degree of integrity/authenticity.

LOCATIONAL INFORMATION

LHS No.	550
Name of item	Residence
HCWA No.	08333
ToC Assess No.	3552
Address	1 Smith Street CLAREMONT 6010
Location Desc.	Plan 1037 Lot 1
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Timber and metal
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Fine example of a Federation Bungalow, contributing to the streetscape. The interior of the building is not of cultural heritage significance. Included in the Heritage List for reasons of having been constructed before 1910, meeting the requirements of Section 78 Clause 3(a) of LPS3.
History	

Integrity & Authenticity					
Description	Single-storey timber cottage with a hipped corrugated iron roof with a separate hipped skillion verandah roof supported by square timber posts, decorative brackets and a spaced vertical timber valance. The weatherboards are painted and windows have been replaced with aluminium-framed sliding windows. Demonstrates Victorian Georgian style transitioning to simple Federation Bungalow.				
Condition					
Precinct/Parent Pl.	Heritage Precinct				
Listing types	Local Heritage Survey		Adopted [DATE]		
	Heritage List		Adopted [DATE]		
	Heritage Council of Western Australia				
	National Trust of Australia (WA)				
Date	Start	1902	Finish		Circa <input checked="" type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology					
Other keywords					
Demolition					
Designer					
Builder/maker					
References	Author	Title			
		Town of Claremont Rate Books			
		Post Office Directories			
Owners					

ADDITIONAL IMAGE/S

Caption					
Image year		Image by		Copyright	
[PHOTO]					

RESIDENCE, 3 SMITH STREET



SIGNIFICANCE

Significance Level	Considerable Significance: Category 2
Description	Very important to the heritage of the locality. High degree of integrity/authenticity.

LOCATIONAL INFORMATION

LHS No.	551
Name of item	Residence
HCWA No.	08334
ToC Assess No.	3553
Address	3 Smith Street CLAREMONT 6010
Location Desc.	Plan 1037 Lot 2
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Timber and metal
Architectural style	Victorian Georgian
Theme	1875-1897: Gentry Village
Values	
Statement of Significance	Fine example of Victorian Georgian architecture, contributing to the streetscape. The interior of the building is not of cultural heritage significance. Included in the Heritage List for reasons of having been constructed before 1910, meeting the requirements of Section 78 Clause 3(a) of LPS3.
History	

Integrity & Authenticity					
Description	Single-storey, symmetrical timber cottage with a hipped Zinalume clad roof, simple chimney, and a separate skillion verandah roof supported by square timber posts. The weatherboards are painted and original double hung sash windows remain in situ.				
Condition					
Precinct/Parent Pl.	Heritage Precinct				
Listing types	Local Heritage Survey			Adopted [DATE]	
	Heritage List			Adopted [DATE]	
	Heritage Council of Western Australia				
	National Trust of Australia (WA)				
Date	Start	1896	Finish		Circa <input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology					
Other keywords					
Demolition					
Designer					
Builder/maker					
References	Author			Title	
				Town of Claremont Rate Books	
				Post Office Directories	
Owners					

ADDITIONAL IMAGE/S

Caption					
Image year		Image by		Copyright	
[PHOTO]					

RESIDENCE, 5 SMITH STREET



SIGNIFICANCE

Significance Level	Considerable Significance: Category 2
Description	Very important to the heritage of the locality. High degree of integrity/authenticity.

LOCATIONAL INFORMATION

LHS No.	552
Name of item	Residence
HCWA No.	08335
ToC Assess No.	3555
Address	5 Smith Street CLAREMONT 6010
Location Desc.	Plan 1037 Lot 3
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Victorian Georgian
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Fine example of Victorian Georgian architecture, contributing to the streetscape. The interior of the building is not of cultural heritage significance. Included in the Heritage List for reasons of having been constructed before 1910, meeting the requirements of Section 78 Clause 3(a) of LPS3.
History	

Integrity & Authenticity					
Description	Single-storey brick cottage that has been painted on the front wall, with a hipped Colorbond clad roof with a separate bullnose verandah roof supported by square timber posts and curved brackets. Chimneys with stucco corbels The original double hung sash windows remain in situ.				
Condition					
Precinct/Parent Pl.	Heritage Precinct				
Listing types	Local Heritage Survey		Adopted [DATE]		
	Heritage List		Adopted [DATE]		
	Heritage Council of Western Australia				
	National Trust of Australia (WA)				
Date	Start	1902	Finish		Circa <input checked="" type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology					
Other keywords					
Demolition					
Designer					
Builder/maker					
References	Author				Title
					Town of Claremont Rate Books
					Post Office Directories
Owners					

ADDITIONAL IMAGE/S

Caption					
Image year		Image by		Copyright	
[PHOTO]					

RESIDENCE, 7 SMITH STREET



SIGNIFICANCE

Significance Level	Considerable Significance: Category 2
Description	Very important to the heritage of the locality. High degree of integrity/authenticity.

LOCATIONAL INFORMATION

LHS No.	553
Name of item	Residence
HCWA No.	08336
ToC Assess No.	3557
Address	7 Smith Street CLAREMONT 6010
Location Desc.	Plan 1037 Lot 4
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Fine example of a Federation Bungalow, contributing to the streetscape. The interior of the building is not of cultural heritage significance. Included in the Heritage List for reasons of having been constructed before 1910, meeting the requirements of Section 78 Clause 3(a) of LPS3.
History	

Integrity & Authenticity					
Description	Single-storey painted brick with a Zinalume roof. The hipped roof with front gable feature also has a separate skillion verandah. The original double hung sash windows remain in situ.				
Condition					
Precinct/Parent Pl.	Heritage Precinct				
Listing types	Local Heritage Survey		Adopted [DATE]		
	Heritage List		Adopted [DATE]		
	Heritage Council of Western Australia				
	National Trust of Australia (WA)				
Date	Start	1903	Finish		Circa <input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology					
Other keywords					
Demolition					
Designer					
Builder/maker					
References	Author	Title			
		Town of Claremont Rate Books			
		Post Office Directories			
Owners					

ADDITIONAL IMAGE/S

Caption					
Image year		Image by		Copyright	
[PHOTO]					

RESIDENCE, 12 SMITH STREET



SIGNIFICANCE

Significance Level	Moderate Significance: Category 3
Description	Contributes to the heritage of the locality. Lower integrity/authenticity, not necessarily detracting from the overall significance of the place.

LOCATIONAL INFORMATION

LHS No.	554
Name of item	Residence
HCWA No.	08337
ToC Assess No.	3562
Address	12 Smith Street CLAREMONT 6010
Location Desc.	Plan 1037 Lot 23
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and tile
Architectural style	Interwar California Bungalow
Theme	1919-39: Interwar boom and bust
Values	
Statement of Significance	Single-storey brick and tile house dating from 1939. The place has aesthetic value for its contribution to the streetscape and the surrounding area. The place is a good example of the Interwar California Bungalow style of architecture. The interior of the building is not of cultural heritage significance. Included in the Heritage List for reasons of contributing to the townscape, meeting the requirements of Section 78 Clause 3(c) of LPS3.
History	Constructed 1939 for William Hicks. 1992: Additions

Integrity & Authenticity					
Description	Interwar California Bungalow painted brick and terracotta tile house. Casement windows have fixed pane leadlight top lights. Tall, rendered chimney. Exposed rafters to eaves. Main entry has double glazed doors. Carport addition to front of set back and picket fence to boundary.				
Condition					
Precinct/Parent Pl.	Heritage Precinct				
Listing types	Local Heritage Survey		Adopted [DATE]		
	Heritage List		Adopted [DATE]		
	Heritage Council of Western Australia				
	National Trust of Australia (WA)				
Date	Start	1939	Finish		Circa <input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology					
Other keywords					
Demolition					
Designer					
Builder/maker					
References	Author	Title			
		Town of Claremont Rate Books			
		Post Office Directories			
Owners					

ADDITIONAL IMAGE/S

Caption					
Image year		Image by		Copyright	
[PHOTO]					

RESIDENCE, 13 SMITH STREET



SIGNIFICANCE

Significance Level	Considerable Significance: Category 2
Description	Very important to the heritage of the locality. High degree of integrity/authenticity.

LOCATIONAL INFORMATION

LHS No.	555
Name of item	Residence
HCWA No.	08338
ToC Assess No.	3565
Address	13 Smith Street CLAREMONT 6010
Location Desc.	Plan 1037 Lot 7
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Timber and metal
Architectural style	Victorian Georgian
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Fine example of Victorian Georgian architecture, contributing to the streetscape. The interior of the building is not of cultural heritage significance. Included in the Heritage List for reasons of having been constructed before 1910, meeting the requirements of Section 78 Clause 3(a) of LPS3.
History	

Integrity & Authenticity					
Description	The single-storey timber framed residence is clad with painted weatherboards. The simple roof is hipped. The separate hipped skillion verandah extends across the frontage supported by square timber posts and decorative brackets and spaced vertical timber balustrade. The symmetrical frontage has a central front door flanked by pairs of casement windows.				
Condition					
Precinct/Parent Pl.	Heritage Precinct				
Listing types	Local Heritage Survey		Adopted [DATE]		
	Heritage List		Adopted [DATE]		
	Heritage Council of Western Australia				
	National Trust of Australia (WA)				
Date	Start	1901	Finish		Circa <input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology					
Other keywords					
Demolition					
Designer					
Builder/maker					
References	Author	Title			
		Town of Claremont Rate Books			
		Post Office Directories			
Owners	A. Smith Original Owner				

ADDITIONAL IMAGE/S

Caption					
Image year		Image by		Copyright	
[PHOTO]					

RESIDENCE, 16 SMITH STREET



SIGNIFICANCE

Significance Level	Moderate Significance: Category 3
Description	Contributes to the heritage of the locality. Lower integrity/authenticity, not necessarily detracting from the overall significance of the place.

LOCATIONAL INFORMATION

LHS No.	556
Name of item	Residence
HCWA No.	08339
ToC Assess No.	3566
Address	16 Smith Street CLAREMONT 6010
Location Desc.	Plan 1037 Lot 21
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and tile
Architectural style	Interwar California Bungalow
Theme	1919-39: Interwar boom and bust
Values	
Statement of Significance	Single-storey brick and tile house dating from 1938. The place has aesthetic value for its contribution to the streetscape and the surrounding area. The place is a good example of the Interwar California Bungalow style of architecture. The interior of the building is not of cultural heritage significance.

	Included in the Heritage List for reasons of contributing to the townscape, meeting the requirements of Section 78 Clause 3(c) of LPS3.				
History					
Integrity & Authenticity					
Description	Interwar California Bungalow rendered brick and terracotta hipped tile house with prominent gables to street. Projecting bay has timber framed windows with side lights, and a tiled awning over. Carport addition to front of set back and masonry and steel picket fence to boundary.				
Condition					
Precinct/Parent Pl.	Heritage Precinct				
Listing types	Local Heritage Survey				Adopted [DATE]
	Heritage List				Adopted [DATE]
	Heritage Council of Western Australia				
	National Trust of Australia (WA)				
Date	Start	1938	Finish		Circa <input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology					
Other keywords					
Demolition					
Designer					
Builder/maker					
References	Author				Title
					Town of Claremont Rate Books
					Post Office Directories
Owners	Arthur F. Tapper Original Occupant				

ADDITIONAL IMAGE/S

Caption					
Image year		Image by		Copyright	
[PHOTO]					

RESIDENCE, 23 SMITH STREET



SIGNIFICANCE

Significance Level	Moderate Significance: Category 3
Description	Contributes to the heritage of the locality. Lower integrity/authenticity, not necessarily detracting from the overall significance of the place.

LOCATIONAL INFORMATION

LHS No.	557
Name of item	Residence
HCWA No.	08341
ToC Assess No.	3570
Address	23 Smith Street CLAREMONT 6010
Location Desc.	Plan 1037 Lot 12
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Single-storey Federation brick and iron house dating from 1916. It is a substantially intact example of the Federation Bungalow style of architecture. The place has aesthetic value for its fine design and detailing as well as its contribution to the streetscape and the surrounding area.
History	Constructed 1916 for D. McClure.

Integrity & Authenticity					
Description	Rendered brick and painted house on limestone foundations with Zincalume hipped roof. Prominent gable to street, supported by timber brackets, with a stucco band. Asymmetrical façade, with projecting bay with timber framed double hung sash windows with arched top lights to head. Half-length verandah has turned timber support posts and timber frieze, and French doors to verandah. Central steps lead up to front door. Low picket fence to half of boundary.				
Condition					
Precinct/Parent Pl.	Heritage Precinct				
Listing types	Local Heritage Survey		Adopted [DATE]		
	Heritage List		Adopted [DATE]		
	Heritage Council of Western Australia				
	National Trust of Australia (WA)				
Date	Start	1916	Finish		Circa <input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology					
Other keywords					
Demolition					
Designer					
Builder/maker					
References	Author				Title
					Town of Claremont Rate Books
					Post Office Directories
Owners	D. McClure	Original Occupant			

ADDITIONAL IMAGE/S

Caption					
Image year		Image by		Copyright	
[PHOTO]					

ROWE PARK, STEVENS STREET



SIGNIFICANCE

Significance Level	Some Significance: Category 4
Description	Contributes to the heritage of the locality. Lower integrity/authenticity, not necessarily detracting from the overall significance of the place.

LOCATIONAL INFORMATION

LHS No.	1
Name of item	Rowe Park
HCWA No.	
ToC Assess No.	
Address	Stevens Street CLAREMONT 6010
Location Desc.	
Other names	
Place Type	Urban Park
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Park/Reserve
Former use	Park/Reserve
Constr. Materials	
Architectural style	
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	

History	Rowe Park was created on the 15/11/1901 as a public reserve from undeveloped crown land. Claremont Tennis Club created in 1898 moved to new clubrooms and tennis courts were created on the reserve in 1902. The reserve was known as Claremont Lawn Tennis Ground to 1920. Claremont Tennis Club is likely to have moved their clubrooms during 1920 although tennis courts were still present on the reserve in 1934. The park in its present shape and size was created in 1977 as Rowe Park.				
Integrity & Authenticity					
Description					
Condition					
Precinct/Parent Pl.	Heritage Precinct				
Listing types	Local Heritage Survey		Adopted [DATE]		
	Heritage List		Adopted [DATE]		
	Heritage Council of Western Australia National Trust of Australia (WA)				
Date	Start	1901	Finish	1977	Circa <input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology					
Other keywords					
Demolition					
Designer					
Builder/maker					
References	Author				Title
					Town of Claremont Rate Books
					Post Office Directories
Owners					

ADDITIONAL IMAGE/S

Caption					
Image year		Image by		Copyright	
[PHOTO]					

HIGHWAY HOTEL (FMR)



SIGNIFICANCE

Significance Level	Exceptional Significance: Category 1
Description	Essential to the heritage of the locality. Rare or outstanding example.

LOCATIONAL INFORMATION

LHS No.	649
Name of item	Highway Hotel (fmr)
HCWA No.	00492
ToC Assess No.	3577
Address	206 Stirling Highway CLAREMONT 6010
Location Desc.	Plan 10010 Lot 801
Other names	Coronado Hotel; Claremont Medical Centre
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Health
Former use	Commercial
Constr. Materials	Brick and tile
Architectural style	Streamline Moderne
Theme	1940-1965: An Old Suburb
Values	
Statement of Significance	Highway Hotel (fmr) is a fine example of Interwar Functionalist architecture that demonstrates the strong influence of Dutch architect William Dudok on Australian architecture in the late 1930s, particularly in this example of the work of architects Marshall Clifton and Reginald Summerhayes. It has a landmark presence on Stirling Highway and represents a rare extant example of a hotel of the design and era in Western Australia.

	Included in the Heritage List for reasons of having been entered in the State Register of Heritage Places and for reasons of contributing to the townscape, meeting the requirements of Section 78 Clause 3(c) of LPS3.				
History	See Heritage Council of Western Australia assessment for details.				
Integrity & Authenticity					
Description	The two storey expansive building addresses the corner situation with sweeping curved lines that extend along the secondary street front, curve the corner and along the Stirling Highway frontage. The horizontality of the rendered bands of balustrade is contrasted with vertical block elements on the Stirling Highway frontage. Behind the curved corner parapet, the hipped tile roof is evident.				
Condition					
Precinct/Parent Pl.	Heritage Precinct				
Listing types	Local Heritage Survey		Adopted [DATE]		
	Heritage List		Adopted [DATE]		
	Heritage Council of Western Australia		Registered 12 December 1997		
	National Trust of Australia (WA)		Classified 7 August 1995		
Date	Start	1940	Finish		Circa <input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology					
Other keywords	Heritage Agreement				
Demolition					
Designer	Marshall Clifton and Reginald Summerhayes				
Builder/maker					
References	Author				Title
					Town of Claremont Rate Books
					Post Office Directories
Owners	The Swan Brewery Co. Ltd Original Owner				

ADDITIONAL IMAGE/S

Caption					
Image year		Image by		Copyright	
[PHOTO]					

RESIDENCE (FMR), 222 STIRLING HIGHWAY



SIGNIFICANCE

Significance Level	Considerable Significance: Category 2
Description	Very important to the heritage of the locality. High degree of integrity/authenticity.

LOCATIONAL INFORMATION

LHS No.	559
Name of item	Residence (fmr)
HCWA No.	08342
ToC Assess No.	3599
Address	222 Stirling Highway CLAREMONT 6010
Location Desc.	Plan 6401 Lot 2
Other names	Toolangi; Elizabeth Clinic
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Commercial
Former use	Residence
Constr. Materials	Brick and metal
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Fine example of a Federation Bungalow, contributing to the streetscape. The interior of the building is not of cultural heritage significance. Included in the Heritage List for reasons of having been constructed before 1910, meeting the requirements of Section 78 Clause 3(a) of LPS3.
History	

Integrity & Authenticity					
Description	The single-storey residence has a predominantly hipped roof with dominant front gable detailed in half-timber above a rectangular bay window with awning over the pair of double hung windows. The front walls are face brick tuckpointed with horizontal render banding. The return front and side verandah has a skillion roof supported by square timber posts. The face brick chimney features a rendered base and moulded corbel. Front setback is paved parking area.				
Condition					
Precinct/Parent Pl.	Heritage Precinct				
Listing types	Local Heritage Survey		Adopted [DATE]		
	Heritage List		Adopted [DATE]		
	Heritage Council of Western Australia				
	National Trust of Australia (WA)				
Date	Start	1902	Finish		Circa <input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology					
Other keywords					
Demolition					
Designer					
Builder/maker					
References	Author				Title
					Town of Claremont Rate Books
					Post Office Directories
Owners	Elizabeth Clements Original Owner				

ADDITIONAL IMAGE/S

Caption					
Image year		Image by		Copyright	
[PHOTO]					

RESIDENCE (FMR), 236 STIRLING HIGHWAY



SIGNIFICANCE

Significance Level	Considerable Significance: Category 2
Description	Very important to the heritage of the locality. High degree of integrity/authenticity.

LOCATIONAL INFORMATION

LHS No.	560
Name of item	Residence (fmr)
HCWA No.	08343
ToC Assess No.	2629
Address	236 Stirling Highway CLAREMONT 6010
Location Desc.	Plan 1096 Lot 2
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Commercial
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Fine example of a Federation Bungalow, contributing to the streetscape. The interior of the building is not of cultural heritage significance. Included in the Heritage List for reasons of having been constructed before 1910, meeting the requirements of Section 78 Clause 3(a) of LPS3.
History	

Integrity & Authenticity				
Description	The single-storey residence has a predominantly hipped roof with dominant front gable detailed in half-timber above a rectangular bay window with awning over a set of three casement windows with highlight windows. The protruding bay is quoined in decorative detail. The front verandah has a skillion roof supported by square timber collared posts. The painted brick chimneys feature a rendered moulded corbel detail with clay pots on top. Front setback is a bitumen parking area.			
Condition				
Precinct/Parent Pl.	Heritage Precinct			
Listing types	Local Heritage Survey		Adopted [DATE]	
	Heritage List		Adopted [DATE]	
	Heritage Council of Western Australia			
	National Trust of Australia (WA)			
Date	Start		Finish	Circa <input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology		
Other keywords		
Demolition		
Designer		
Builder/maker		
References	Author	Title
		Town of Claremont Rate Books
		Post Office Directories
Owners	James Irvine	Original Owner

ADDITIONAL IMAGE/S

Caption			
Image year	Image by	Copyright	
[PHOTO]			

HALFWAY TREE HISTORIC SITE



SIGNIFICANCE

Significance Level	Some Significance: Category 4
Description	Contributes to the heritage of the locality. Lower integrity/authenticity, not necessarily detracting from the overall significance of the place.

LOCATIONAL INFORMATION

LHS No.	561
Name of item	Halfway Tree (site)
HCWA No.	
ToC Assess No.	
Address	256 Stirling Highway CLAREMONT 6010
Location Desc.	
Other names	
Place Type	Site
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	
Former use	
Constr. Materials	
Architectural style	
Theme	
Values	
Statement of Significance	The Halfway Tree site is significant for the history as a meeting point for mail exchange until 1863, and thereafter a place of social interaction by the gentry of the area. Classified by the National Trust of Australia (WA), meeting the requirements of Section 78 Clause 4 of LPS3.
History	The site of a tall Tuart Tree was the meeting point for the postmen from Perth and Fremantle to exchange their sacks of mail until 1863. Later called the six mile tree when the gentry from Perth drove there on afternoon drives. The tree was severely lopped in the early 20th century and the stump remained in 1935.

Integrity & Authenticity					
Description	The oldest existing post box (1868) used to mark the site of the Half Way Tree until it was relocated nearby.				
Condition					
Precinct/Parent Pl.	Heritage Precinct				
Listing types	Local Heritage Survey		Adopted [DATE]		
	Heritage List		Adopted [DATE]		
	Heritage Council of Western Australia				
	National Trust of Australia (WA)				
Date	Start		Finish		Circa <input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology					
Other keywords					
Demolition					
Designer					
Builder/maker					
References	Author				Title
					Town of Claremont Rate Books
					Post Office Directories
Owners	James Irvine	Original Owner			

ADDITIONAL IMAGE/S

Caption					
Image year		Image by		Copyright	
[PHOTO]					

CONGREGATIONAL CHURCH & HALL



SIGNIFICANCE

Significance Level	Exceptional Significance: Category 1
Description	Essential to the heritage of the locality. Rare or outstanding example.

LOCATIONAL INFORMATION

LHS No.	562
Name of item	Congregational Church & Hall
HCWA No.	00487
ToC Assess No.	3662 & 3665
Address	262 & 264 Stirling Highway CLAREMONT 6010
Location Desc.	Plan 82206 Lot 22; Plan 46310 Lot 1
Other names	
Place Type	Group
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Commercial
Former use	Religion
Constr. Materials	Stone and metal
Architectural style	Federation Romanesque (Hall); Federation Gothic (Church)
Theme	1875-1897: Gentry Village 1898-1918: Creating a Town
Values	
Statement of Significance	Congregational Church and Hall is significant since development in 1896, despite its demise as a church function in the 1970s, the place still retains its significance for the history and the high-quality architecture that represents fine examples of Federation Gothic and Romanesque architecture respectively.

	Included in the Heritage List for reasons of having been entered in the State Register of Heritage Places and having been constructed before 1910, meeting the requirements of Section 78 Clause 3(a) of LPS3. Classified by the National Trust of Australia (WA), meeting the requirements of Section 78 Clause 4 of LPS3.					
History	<p>The 'Birth of a Suburb' period saw rapid growth for Claremont, as shown in the names listed in Wise's Post Office Directories, which rose from 76 in 1896 to 469 in 1902. The census population was overwhelmingly Christian.</p> <p>The land for Congregational Hall was donated by Congregationalist George Randall, MLC. Plans and specifications were prepared by Henry Stirling Trigg (grandson of Henry Trigg and Perth's first Australian-born architect). By 1906 the size of the congregation had grown and a church built next door to a design by E. J. Henderson.</p> <p>The Congregational Church amalgamated with the Presbyterian and Methodist Churches to form the Uniting Church in the 1970s. Following this both buildings were no longer needed as places of worship and were sold.</p> <p>The Half Way Tree site is significant for the history as a meeting point for mail exchange until 1863, and thereafter a place of social interaction by the gentry of the area. The tree was severely lopped in the early 20th century and the stump remained in 1935.</p>					
Integrity & Authenticity	Low integrity as no longer used for original function and modified.					
Description	<p>The Hall (1896) is a unique masonry structure with an asymmetrical corner front square tower rising several levels with an open verandah area under the hipped roof. The building proper has a high-pitched gable roof clad with Colorbond roof sheeting. The face stone in cream tones has red brick quoining. The central front entry is delineated by a low flat arched opening into a recessed porch.</p> <p>The Church (1906) is a double-volume face brick building with cream rendered quoins, the symmetrical frontage has stepped buttresses integral to the wall. Arched entry on ground floor central front is replicated in windows at first floor level, with detailed gable apex above.</p> <p>The oldest existing post box (1868) in WA marks the site of the Half Way Tree.</p>					
Condition	Good					
Precinct/Parent Pl.	Heritage Precinct					
Listing types	Local Heritage Survey	Adopted [DATE]				
	Heritage List	Adopted [DATE]				
	Heritage Council of Western Australia	Permanent 9 February 1996				
	National Trust of Australia (WA)	Classified 2 November 1981				
Date	Start	1896	Finish	1906	Circa	<input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology		
Other keywords		
Demolition		
Designer	Henry Stirling Trigg; Edgar Jerome Henderson	
Builder/maker		
References	Author	Title
		Town of Claremont Rate Books
		Post Office Directories
	State Heritage Office	Assessment
Owners		

ADDITIONAL IMAGE/S

Caption	Post Box				
Image year	c.2014	Image by		Copyright	ToC



ELECTRIC SUB-STATION, 280 STIRLING HIGHWAY



SIGNIFICANCE

Significance Level	Considerable Significance: Category 2
Description	Very important to the heritage of the locality. High degree of integrity/authenticity.

LOCATIONAL INFORMATION

LHS No.	563
Name of item	Electric Sub-Station
HCWA No.	00494
ToC Assess No.	3686
Address	280 Stirling Highway CLAREMONT 6010
Location Desc.	Plan 651 Lot 1
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Commercial
Former use	Industrial/Manufacturing
Constr. Materials	Brick and metal
Architectural style	Interwar Free Classical
Theme	1919-39: Interwar boom and bust
Values	
Statement of Significance	Electrical Sub Station is rare as a place built and run by a local government to provide electricity. It is a good representation of industrial Interwar architecture. Included in the Heritage List for reasons of having high intrinsic architectural merit, meeting the requirements of Section 78 Clause 3(b) of LPS3.
History	The substation was owned and operated by the Town of Claremont until 1985.

Integrity & Authenticity	Moderate					
Description	The single-storey single frontage building is modest in scale, but proportioned with pilasters delineating two front bays and a moulded parapet above. Four-paned sashes are still evident in the double hung sash windows central in each of the front bays. Behind the parapet, the roof is corrugated iron.					
Condition	Good					
Precinct/Parent Pl.	Heritage Precinct					
Listing types	Local Heritage Survey			Adopted [DATE]		
	Heritage List			Adopted [DATE]		
	Heritage Council of Western Australia					
	National Trust of Australia (WA)					
Date	Start	1923	Finish		Circa	<input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology						
Other keywords						
Demolition						
Designer						
Builder/maker						
References	Author					Title
						Town of Claremont Rate Books
						Post Office Directories
Owners						

ADDITIONAL IMAGE/S

Caption						
Image year		Image by		Copyright		
[PHOTO]						

ST JOHN AMBULANCE, 282 STIRLING HIGHWAY



SIGNIFICANCE

Significance Level	Considerable Significance: Category 2
Description	Very important to the heritage of the locality. High degree of integrity/authenticity.

LOCATIONAL INFORMATION

LHS No.	564
Name of item	St John Ambulance Sub Centre
HCWA No.	
ToC Assess No.	2077
Address	282 Stirling Highway CLAREMONT 6010
Location Desc.	Plan/Reserve P169975
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Health
Former use	Health
Constr. Materials	Brick and metal
Architectural style	Post-War Free Classical
Theme	1940-1965: An Old Suburb
Values	
Statement of Significance	<p>St John Ambulance Sub-centre is significant for the associations with the Apex Club who constructed the place to provide services to the Claremont community. The place has continued in that function and remains as a testimony of the Post-War period with influences of the art deco elements that were typical of the St John Ambulance headquarters in Perth.</p> <p>Included in the Heritage List for reasons of having high intrinsic architectural merit, meeting the requirements of Section 78 Clause 3(b) of LPS3.</p>

History	As outlined by the foundation plaque: This sub-centre was erected by the Apex Club of Claremont assisted by District Residents; The Government of Western Australia and Local Government Bodies to provide ambulance, first aid and home nursing facilities for those in need: it was opened on Sunday 2nd May, 1965, By President of the St John Ambulance Assoc of WA, Mr Laban of St J, R V Garland, Chairman – Centre Comm, S J Coll, Chairman Building Comm.			
Integrity & Authenticity				
Description	The building shows Art Deco influences similar to the St John Ambulance Headquarters. The single-storey building is modest in scale, but well-proportioned with a central entry with flat roofed porch flanked by single six-paned windows central within pilastered bays. The pilasters are detailed with stepped moulding across the cornice line that extends to form the parapet that is stepped across the width of the central porch. The parapet is further detailed with vertical stepped elements that are replicated on the outer edges of the porch above the square masonry columns.			
Condition				
Precinct/Parent Pl.	Heritage Precinct			
Listing types	Local Heritage Survey		Adopted [DATE]	
	Heritage List		Adopted [DATE]	
	Heritage Council of Western Australia			
	National Trust of Australia (WA)			
Date	Start	1965	Finish	Circa <input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology			
Other keywords			
Demolition			
Designer			
Builder/maker			
References	Author	Title	
		Town of Claremont Rate Books	
		Post Office Directories	
Owners			

ADDITIONAL IMAGE/S

Caption				
Image year		Image by		Copyright
[PHOTO]				

VAUCLUSE AVENUE GROUP



SIGNIFICANCE

Significance Level	Considerable Significance: Category 2
Description	Very important to the heritage of the locality. High degree of integrity/authenticity.

LOCATIONAL INFORMATION

LHS No.	587
Name of item	Vaucluse Avenue Group
HCWA No.	
ToC Assess No.	
Address	1-5, 7, 9, 12, 15, 17 Vaucluse Avenue CLAREMONT 6010
Location Desc.	
Other names	
Place Type	Group
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	

Statement of Significance	Demonstrates a range of Federation Bungalows in proximity and all developed between 1903 and 1908, illustrating differences and similarities in design and interventions. The Group displays a particular streetscape impact with well-tended gardens and appropriate fencing associated with most places, further informing of the Federation heritage. Included in the Heritage List for reasons of contributing to the townscape, meeting the requirements of Section 78 Clause 3(c) of LPS3.				
History					
Integrity & Authenticity					
Description					
Condition					
Precinct/Parent Pl.	Heritage Precinct		Vaucluse Avenue		
Listing types	Local Heritage Survey		Adopted [DATE]		
	Heritage List		Adopted [DATE]		
	Heritage Council of Western Australia				
	National Trust of Australia (WA)				
Date	Start		Finish	Circa	<input checked="" type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology					
Other keywords					
Demolition					
Designer					
Builder/maker					
References	Author	Title			
		Town of Claremont Rate Books			
		Post Office Directories			
Owners					

ADDITIONAL IMAGE/S

Caption					
Image year		Image by		Copyright	
[PHOTO]					

RESIDENCE, 1 VAUCLUSE AVENUE



SIGNIFICANCE

Significance Level	Considerable Significance: Category 2
Description	Very important to the heritage of the locality. High degree of integrity/authenticity.

LOCATIONAL INFORMATION

LHS No.	588
Name of item	Residence
HCWA No.	08267
ToC Assess No.	4054
Address	1 Vaucluse Avenue CLAREMONT 6010
Location Desc.	Plan 1234 Lot 18
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Fine example of a Federation Bungalow, contributing to the streetscape. The interior of the building is not of cultural heritage significance. Included in the Heritage List for reasons of having been constructed before 1910, meeting the requirements of Section 78 Clause 3(a) of LPS3. Classified by the National Trust of Australia (WA), meeting the requirements of Section 78 Clause 4 of LPS3.

History					
Integrity & Authenticity					
Description	The single-storey face brick residence has a predominantly hipped Zinalume clad roof. The roof has gables protruding to the front and side in decorative half-timbered detailing, with a separate bullnose verandah covering the connecting verandah. The gable walls also have bullnose awnings over sets of three casements windows with coloured glazed fanlights. The bullnose verandah has a delicate spaced vertical valance curved brackets and turned timber posts. The elegant scalloped low picket fence and orderly garden highlight the classic Federation home.				
Condition					
Precinct/Parent Pl.	Heritage Precinct		Vaucluse Avenue		
Listing types	Local Heritage Survey		Adopted [DATE]		
	Heritage List		Adopted [DATE]		
	Heritage Council of Western Australia				
	National Trust of Australia (WA)				
Date	Start	1905	Finish		Circa <input checked="" type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology					
Other keywords					
Demolition					
Designer					
Builder/maker					
References	Author				Title
					Town of Claremont Rate Books
					Post Office Directories
Owners					

ADDITIONAL IMAGE/S

Caption					
Image year		Image by		Copyright	
[PHOTO]					

RESIDENCE, 2 VAUCLUSE AVENUE



SIGNIFICANCE

Significance Level	Considerable Significance: Category 2
Description	Very important to the heritage of the locality. High degree of integrity/authenticity.

LOCATIONAL INFORMATION

LHS No.	589
Name of item	Residence
HCWA No.	08368
ToC Assess No.	4055
Address	2 Vaucluse Avenue CLAREMONT 6010
Location Desc.	Plan 55016 Lot 101
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Fine example of a Federation Bungalow, contributing to the streetscape. The interior of the building is not of cultural heritage significance. Included in the Heritage List for reasons of having been constructed before 1910, meeting the requirements of Section 78 Clause 3(a) of LPS3. Classified by the National Trust of Australia (WA), meeting the requirements of Section 78 Clause 4 of LPS3.

History						
Integrity & Authenticity						
Description	The single-storey face brick with rendered banding residence has a predominantly hipped Zinalume clad roof. The roof has a decorative front gable over a rectangular bay window. A bullnose verandah extends the width of the front, stepping around the bay and forming an expansive protruding section of verandah. The bullnose verandah has a delicate spaced vertical valance, decorative curved brackets and turned timber posts. Tall face brick chimneys have deep moulded corbels. Dormers in the side roof. The elegant scalloped low picket fence and orderly garden highlight the classic Federation home. Same house design as No. 4.					
Condition						
Precinct/Parent Pl.	Heritage Precinct			Vaucluse Avenue		
Listing types	Local Heritage Survey			Adopted [DATE]		
	Heritage List			Adopted [DATE]		
	Heritage Council of Western Australia					
	National Trust of Australia (WA)					
Date	Start	1904	Finish		Circa	<input checked="" type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology						
Other keywords						
Demolition						
Designer						
Builder/maker						
References	Author					Title
						Town of Claremont Rate Books
						Post Office Directories
Owners						

ADDITIONAL IMAGE/S

Caption						
Image year		Image by		Copyright		
[PHOTO]						

RESIDENCE, 3 VAUCLUSE AVENUE



SIGNIFICANCE

Significance Level	Moderate Significance: Category 3
Description	Contributes to the heritage of the locality. Lower integrity/authenticity, not necessarily detracting from the overall significance of the place.

LOCATIONAL INFORMATION

LHS No.	590
Name of item	Residence
HCWA No.	25811
ToC Assess No.	4056
Address	3 Vaucluse Avenue CLAREMONT 6010
Location Desc.	Plan 1234 Lot 19
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and Metal
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Good example of a Federation Bungalow, contributing to the streetscape. The interior of the building is not of cultural heritage significance. Included in the Heritage List for reasons of having been constructed before 1910, meeting the requirements of Section 78 Clause 3(a) of LPS3.

History						
Integrity & Authenticity						
Description	The single-storey rendered brick residence has a hipped tiled roof. It has a protruding gable detail, and a separate front verandah roof that is supported by slender steel posts.					
Condition						
Precinct/Parent Pl.	Heritage Precinct			Vaucluse Avenue		
Listing types	Local Heritage Survey			Adopted [DATE]		
	Heritage List			Adopted [DATE]		
	Heritage Council of Western Australia					
	National Trust of Australia (WA)					
Date	Start	1905	Finish		Circa	<input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology						
Other keywords						
Demolition						
Designer						
Builder/maker						
References	Author					Title
						Town of Claremont Rate Books
						Post Office Directories
Owners						

ADDITIONAL IMAGE/S

Caption						
Image year		Image by		Copyright		
[PHOTO]						

RESIDENCE, 4 VAUCLUSE AVENUE



SIGNIFICANCE

Significance Level	Moderate Significance: Category 3
Description	Contributes to the heritage of the locality. Lower integrity/authenticity, not necessarily detracting from the overall significance of the place.

LOCATIONAL INFORMATION

LHS No.	591
Name of item	Residence
HCWA No.	08369
ToC Assess No.	4057
Address	4 Vaucluse Avenue CLAREMONT 6010
Location Desc.	Plan 33992 Lots 311 & 312
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Good example of a Federation Bungalow, contributing to the streetscape. The interior of the building is not of cultural heritage significance. Included in the Heritage List for reasons of having been constructed before 1910, meeting the requirements of Section 78 Clause 3(a) of LPS3.

History						
Integrity & Authenticity						
Description	The single-storey painted brick residence has a metal clad roof. The roof has a half-timbered front gable over a rectangular bay window. A skillion verandah extends the width of the front, stepping around the bay and forming an expansive protruding section of verandah. The verandah is supported by square timber posts. Tall painted brick chimneys have deep moulded corbels and clay pots. Scalloped low picket fence. Same house design as No. 2.					
Condition						
Precinct/Parent Pl.	Heritage Precinct			Vaucluse Avenue		
Listing types	Local Heritage Survey			Adopted [DATE]		
	Heritage List			Adopted [DATE]		
	Heritage Council of Western Australia					
	National Trust of Australia (WA)					
Date	Start	1905	Finish		Circa	<input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology						
Other keywords						
Demolition						
Designer						
Builder/maker						
References	Author					Title
						Town of Claremont Rate Books
						Post Office Directories
Owners						

ADDITIONAL IMAGE/S

Caption						
Image year		Image by		Copyright		
[PHOTO]						

RESIDENCE, 5 VAUCLUSE AVENUE



SIGNIFICANCE

Significance Level	Considerable Significance: Category 2
Description	Very important to the heritage of the locality. High degree of integrity/authenticity.

LOCATIONAL INFORMATION

LHS No.	592
Name of item	Residence
HCWA No.	08370
ToC Assess No.	4058
Address	5 Vaucluse Avenue CLAREMONT 6010
Location Desc.	Plan 1234 Lot 20
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Fine example of a Federation Bungalow, contributing to the streetscape. The interior of the building is not of cultural heritage significance. Included in the Heritage List for reasons of having been constructed before 1910, meeting the requirements of Section 78 Clause 3(a) of LPS3.
History	

Integrity & Authenticity						
Description	The single-storey face brick with rendered bands residence has a Zinalume roof. The roof has a half-timbered front gable over a rectangular bay window. A skillion verandah extends the width of the front. It has spaced vertical timber valance and turned timber posts. Tall painted brick chimneys have deep moulded corbels and clay pots. Scalloped low picket fence. Double-hipped roof carport in the setback space to one side.					
Condition						
Precinct/Parent Pl.	Heritage Precinct			Vaucluse Avenue		
Listing types	Local Heritage Survey			Adopted [DATE]		
	Heritage List			Adopted [DATE]		
	Heritage Council of Western Australia					
	National Trust of Australia (WA)					
Date	Start	1908	Finish		Circa	<input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology						
Other keywords						
Demolition						
Designer						
Builder/maker						
References	Author					Title
						Town of Claremont Rate Books
						Post Office Directories
Owners						

ADDITIONAL IMAGE/S

Caption						
Image year		Image by		Copyright		
[PHOTO]						

RESIDENCE, 7 VAUCLUSE AVENUE



SIGNIFICANCE

Significance Level	Considerable Significance: Category 2
Description	Very important to the heritage of the locality. High degree of integrity/authenticity.

LOCATIONAL INFORMATION

LHS No.	593
Name of item	Residence
HCWA No.	08372
ToC Assess No.	4060
Address	7 Vaucluse Avenue CLAREMONT 6010
Location Desc.	Plan 1234 Lot 21
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Fine example of a Federation Bungalow, contributing to the streetscape. The interior of the building is not of cultural heritage significance. Included in the Heritage List for reasons of having been constructed before 1910, meeting the requirements of Section 78 Clause 3(a) of LPS3. Classified by the National Trust of Australia (WA), meeting the requirements of Section 78 Clause 4 of LPS3.

History						
Integrity & Authenticity						
Description	The single-storey painted brick residence has a hipped Zinalume roof. A bullnose verandah extends the width of the front. Symmetrical frontage with a central front door with sidelights flanked by sets of two double-hung sash windows. It has spaced vertical timber valance and turned timber posts. Low painted brick fence.					
Condition						
Precinct/Parent Pl.	Heritage Precinct			Vaucluse Avenue		
Listing types	Local Heritage Survey			Adopted [DATE]		
	Heritage List			Adopted [DATE]		
	Heritage Council of Western Australia					
	National Trust of Australia (WA)					
Date	Start	1904	Finish		Circa	<input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology						
Other keywords						
Demolition						
Designer						
Builder/maker						
References	Author					Title
						Town of Claremont Rate Books
						Post Office Directories
Owners						

ADDITIONAL IMAGE/S

Caption						
Image year		Image by		Copyright		
[PHOTO]						

RESIDENCE, 9 VAUCLUSE AVENUE



SIGNIFICANCE

Significance Level	Moderate Significance: Category 3
Description	Contributes to the heritage of the locality. Lower integrity/authenticity, not necessarily detracting from the overall significance of the place.

LOCATIONAL INFORMATION

LHS No.	594
Name of item	Residence
HCWA No.	25808
ToC Assess No.	4060
Address	9 Vaucluse Avenue CLAREMONT 6010
Location Desc.	Plan 1234 Lot 22
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Good example of a Federation Bungalow, contributing to the streetscape. The interior of the building is not of cultural heritage significance. Included in the Heritage List for reasons of having been constructed before 1910, meeting the requirements of Section 78 Clause 3(a) of LPS3.

History						
Integrity & Authenticity						
Description	The single-storey painted brick residence has a hipped Zincalume roof, tall painted brick chimney with stucco moulding and pots and a gable over the projecting bay with timber features. Double hung ash windows with leadlight top lights. Addition (1960) across two thirds of front elevation, but original form is readable. Timber garage (1915) extant, except for replacement tilt-up door. Low timber picket fence.					
Condition						
Precinct/Parent Pl.	Heritage Precinct			Vaucluse Avenue		
Listing types	Local Heritage Survey			Adopted [DATE]		
	Heritage List			Adopted [DATE]		
	Heritage Council of Western Australia					
	National Trust of Australia (WA)					
Date	Start	1904	Finish		Circa	<input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology						
Other keywords						
Demolition						
Designer						
Builder/maker						
References	Author					Title
						Town of Claremont Rate Books
						Post Office Directories
Owners						

ADDITIONAL IMAGE/S

Caption						
Image year		Image by		Copyright		
[PHOTO]						

RESIDENCE, 12 VAUCLUSE AVENUE



SIGNIFICANCE

Significance Level	Considerable Significance: Category 2
Description	Very important to the heritage of the locality. High degree of integrity/authenticity.

LOCATIONAL INFORMATION

LHS No.	595
Name of item	Residence
HCWA No.	08373
ToC Assess No.	4063
Address	12 Vacluse Avenue CLAREMONT 6010
Location Desc.	Plan 1234 Lot 43
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Fine example of a Federation Bungalow, contributing to the streetscape. The interior of the building is not of cultural heritage significance. Included in the Heritage List for reasons of having been constructed before 1910, meeting the requirements of Section 78 Clause 3(a) of LPS3.
History	

Integrity & Authenticity						
Description	The single-storey painted brick residence has a hipped Zinalume roof. A bullnose verandah extends the width of the front with a central gablet. The verandah has spaced vertical timber valance and turned timber posts and arched entry under the gablet. Symmetrical frontage with a central front door with sidelights flanked by single double-hung sash windows. Low hedge with squat concrete pillars at the pathway opening.					
Condition						
Precinct/Parent Pl.	Heritage Precinct			Vaucluse Avenue		
Listing types	Local Heritage Survey			Adopted [DATE]		
	Heritage List			Adopted [DATE]		
	Heritage Council of Western Australia					
	National Trust of Australia (WA)					
Date	Start	1903	Finish		Circa	<input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology						
Other keywords						
Demolition						
Designer						
Builder/maker						
References	Author					Title
						Town of Claremont Rate Books
						Post Office Directories
Owners						

ADDITIONAL IMAGE/S

Caption						
Image year		Image by		Copyright		
[PHOTO]						

RESIDENCE, 15 VAUCLUSE AVENUE



SIGNIFICANCE

Significance Level	Considerable Significance: Category 2
Description	Very important to the heritage of the locality. High degree of integrity/authenticity.

LOCATIONAL INFORMATION

LHS No.	596
Name of item	Residence
HCWA No.	08374
ToC Assess No.	4072
Address	15 Vaucluse Avenue CLAREMONT 6010
Location Desc.	Plan 1234 Lot 23 & 24
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Fine example of a Federation Bungalow, contributing to the streetscape. The interior of the building is not of cultural heritage significance. Included in the Heritage List for reasons of having been constructed before 1910, meeting the requirements of Section 78 Clause 3(a) of LPS3. Classified by the National Trust of Australia (WA), meeting the requirements of Section 78 Clause 4 of LPS3.

History						
Integrity & Authenticity						
Description	The single-storey face brick residence has a hipped Zincalume roof. A gablet is evident on a truncated corner where the bullnose verandah follows the truncation extending along the front and side. The verandah has spaced vertical timbers in a curved valance between turned timber posts. Scalloped low picket fence and hedge. Garden setting.					
Condition						
Precinct/Parent Pl.	Heritage Precinct			Vaucluse Avenue		
Listing types	Local Heritage Survey			Adopted [DATE]		
	Heritage List			Adopted [DATE]		
	Heritage Council of Western Australia					
	National Trust of Australia (WA)					
Date	Start	1908	Finish		Circa	<input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology						
Other keywords						
Demolition						
Designer						
Builder/maker						
References	Author					Title
						Town of Claremont Rate Books
						Post Office Directories
Owners						

ADDITIONAL IMAGE/S

Caption						
Image year		Image by		Copyright		
[PHOTO]						

RESIDENCE, 17 VAUCLUSE AVENUE



SIGNIFICANCE

Significance Level	Moderate Significance: Category 3
Description	Contributes to the heritage of the locality. Lower integrity/authenticity, not necessarily detracting from the overall significance of the place.

LOCATIONAL INFORMATION

LHS No.	597
Name of item	Residence
HCWA No.	08375
ToC Assess No.	4073
Address	17 Vacluse Avenue CLAREMONT 6010
Location Desc.	Plan 1234 Lot 25
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Good example of a Federation Bungalow, contributing to the streetscape. The interior of the building is not of cultural heritage significance. Included in the Heritage List for reasons of having been constructed before 1910, meeting the requirements of Section 78 Clause 3(a) of LPS3.

History						
Integrity & Authenticity	Bullnose verandah has been extended. Bay windows are not original.					
Description	The single-storey brick residence has a hipped Zinalume roof. A bullnose verandah extends the width of the front. It is supported by slender square posts. Symmetrical frontage with a central front door flanked by windows. Low rendered fence with pillars.					
Condition						
Precinct/Parent Pl.	Heritage Precinct					
Listing types	Local Heritage Survey			Adopted [DATE]		
	Heritage List			Adopted [DATE]		
	Heritage Council of Western Australia					
	National Trust of Australia (WA)					
Date	Start	1908	Finish		Circa	<input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology						
Other keywords						
Demolition						
Designer						
Builder/maker						
References	Author					Title
						Town of Claremont Rate Books
						Post Office Directories
Owners						

ADDITIONAL IMAGE/S

Caption						
Image year		Image by		Copyright		
[PHOTO]						

RESIDENCE, 22 VAUCLUSE AVENUE



SIGNIFICANCE

Significance Level	Considerable Significance: Category 2
Description	Very important to the heritage of the locality. High degree of integrity/authenticity.

LOCATIONAL INFORMATION

LHS No.	598
Name of item	Residence
HCWA No.	08376
ToC Assess No.	4077
Address	22 Vaucluse Avenue CLAREMONT 6010
Location Desc.	Plan 1234 Lot 38
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	22 Vaucluse Avenue is a fine representative of the Federation Bungalow style of architecture, with distinctive gable and chimney detail. The interior of the building is not of cultural heritage significance.
History	
Integrity & Authenticity	

Description	The single-storey residence has a predominantly hipped roof with dominant front gable detailed in half-timber on decorative brackets above a bay window. There is a full width front verandah with a bullnose roof. The verandah is supported by turned timber posts. The face brick chimney features a rendered base, vertical render detail and moulded cornice and render top.					
Condition						
Precinct/Parent Pl.	Heritage Precinct					
Listing types	Local Heritage Survey			Adopted [DATE]		
	Heritage List			Adopted [DATE]		
	Heritage Council of Western Australia					
	National Trust of Australia (WA)					
Date	Start	1912	Finish		Circa	<input checked="" type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology						
Other keywords						
Demolition						
Designer						
Builder/maker						
References	Author					Title
						Town of Claremont Rate Books
						Post Office Directories
Owners						

ADDITIONAL IMAGE/S

Caption						
Image year		Image by		Copyright		
[PHOTO]						

WALTER STREET GROUP



SIGNIFICANCE

Significance Level	Considerable Significance: Category 2
Description	Very important to the heritage of the locality. High degree of integrity/authenticity.

LOCATIONAL INFORMATION

LHS No.	614
Name of item	Walter Street Group
HCWA No.	
ToC Assess No.	
Address	2, 4-8, 10-15, 17, 19, 21, 23, 25, 26, 28, 29 Walter Street CLAREMONT 6010
Location Desc.	
Other names	
Place Type	Group
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	
Architectural style	
Theme	
Values	
Statement of Significance	Demonstrates a range of Federation and Interwar residences that developed in proximity and highlight the development of the styles during the intersecting periods. The quality of design, detail, and decoration during the latter part of the Federation period is demonstrated in the residences at Nos. 4 (double storey with tennis court), and No. 5, and the only timber residence at No. 23. The Interwar

	California Bungalows revert to austerity and similarity of design and detail as shown by Nos. 6 and 12, and the duplex at No. 17. Collectively, the residences in Walter Street form an aesthetically cohesive streetscape. Included in the Heritage List for reasons of contributing to the townscape, meeting the requirements of Section 78 Clause 3(c) of LPS3.				
History					
Integrity & Authenticity					
Description					
Condition					
Precinct/Parent Pl.	Heritage Precinct				
Listing types	Local Heritage Survey		Adopted [DATE]		
	Heritage List		Adopted [DATE]		
	Heritage Council of Western Australia				
	National Trust of Australia (WA)				
Date	Start	1904	Finish		Circa <input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology					
Other keywords					
Demolition					
Designer					
Builder/maker					
References	Author	Title			
		Town of Claremont Rate Books			
		Post Office Directories			
	Taylor, John J	'August Edward Emil Mauermann (1851-1937)'			
Owners	J. H. Carswell	Original Owner			

ADDITIONAL IMAGE/S

Caption					
Image year		Image by		Copyright	
[PHOTO]					

RESIDENCE, 1 WALTER STREET



SIGNIFICANCE

Significance Level	Considerable Significance: Category 2
Description	Very important to the heritage of the locality. High degree of integrity/authenticity.

LOCATIONAL INFORMATION

LHS No.	613
Name of item	Residence
HCWA No.	08377
ToC Assess No.	4354
Address	1 Walter Street CLAREMONT 6010
Location Desc.	Plan 14156 Lot 26
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Federation Queen Anne
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	1 Walter Street is a fine representative example of Federation architecture with fine gable wall detailing. The interior of the building is not of cultural heritage significance. Included in the Heritage List for reasons of having been constructed before 1910, meeting the requirements of Section 78 Clause 3(a) of LPS3.
History	1 Walter Street was designed in 1904 by architect Emil Mauermann for John Hamilton Carswell, a furniture retailer (West Australian, 11 June 1904; West Australian, 4 February 1911). Although the

	<p>Post Office Directories appear to indicate Carswell's property was further west, its location is confirmed by a number of references to it being on the corner of Walter and Melville Streets, opposite the residence of Claremont Mayor, James Weir (e.g. West Australia, 25 November 1909).</p> <p>In 1914, Carswell returned to the Eastern States and sold both 1 Walter Street and a large quantity of the furniture there (West Australian, 18 February 1914).</p>				
Integrity & Authenticity					
Description	Single-storey face brick with moulded horizontal banding. The hipped roof features bracketed decorative protruding gable walls. The rectangular brick chimneys have simple moulding and double clay pots. It is likely there is an extension along the street frontage that includes the carport.				
Condition					
Precinct/Parent Pl.	Heritage Precinct				
Listing types	Local Heritage Survey		Adopted [DATE]		
	Heritage List		Adopted [DATE]		
	Heritage Council of Western Australia				
	National Trust of Australia (WA)				
Date	Start	1904	Finish		Circa <input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology					
Other keywords					
Demolition					
Designer	Emil Mauermann				
Builder/maker					
References	Author	Title			
		Town of Claremont Rate Books			
		Post Office Directories			
	Taylor, John J	'August Edward Emil Mauermann (1851-1937)'			
Owners	J. H. Carswell	Original Owner			

ADDITIONAL IMAGE/S

Caption					
Image year		Image by		Copyright	
[PHOTO]					

RESIDENCE, 2 WALTER STREET



SIGNIFICANCE

Significance Level	Considerable Significance: Category 2
Description	Very important to the heritage of the locality. High degree of integrity/authenticity.

LOCATIONAL INFORMATION

LHS No.	615
Name of item	Residence
HCWA No.	08378
ToC Assess No.	4355
Address	2 Walter Street CLAREMONT 6010
Location Desc.	Plan 98035 Lot 112 & Plan 24483 Lot 59
Other names	
Place Type	
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Fine example of a Federation Bungalow, contributing to the streetscape. The interior of the building is not of cultural heritage significance. Included in the Heritage List for reasons of having been constructed before 1910, meeting the requirements of Section 78 Clause 3(a) of LPS3.
History	

Integrity & Authenticity						
Description	Single-storey painted brickwork, with a hipped Zincalume roof that extends over the full width front verandah and has gable features over the rectangular bay windows with sets of two double-hung sash windows that flank the central entry door on the symmetrical frontage. Decorative spaced timber valance and turned timber posts detail the verandah.					
Condition						
Precinct/Parent Pl.	Heritage Precinct			Walter Street		
Listing types	Local Heritage Survey			Adopted [DATE]		
	Heritage List			Adopted [DATE]		
	Heritage Council of Western Australia					
	National Trust of Australia (WA)					
Date	Start	1904	Finish		Circa	<input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology						
Other keywords						
Demolition						
Designer						
Builder/maker						
References	Author			Title		
				Town of Claremont Rate Books		
				Post Office Directories		
Owners						

ADDITIONAL IMAGE/S

Caption						
Image year		Image by		Copyright		
[PHOTO]						

GARRYOWEN, 4 WALTER STREET



SIGNIFICANCE

Significance Level	Considerable Significance: Category 2
Description	Very important to the heritage of the locality. High degree of integrity/authenticity.

LOCATIONAL INFORMATION

LHS No.	616
Name of item	Garryowen
HCWA No.	08379
ToC Assess No.	4358
Address	4 Walter Street CLAREMONT 6010
Location Desc.	Plan 24878 Lot 501
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Fine example of a Federation Bungalow, contributing to the streetscape. The interior of the building is not of cultural heritage significance. Included in the Heritage List for reasons of having been constructed before 1910, meeting the requirements of Section 78 Clause 3(a) of LPS3.
History	

Integrity & Authenticity						
Description	Double-storey residence with face brickwork and rendered banding has hipped Zinalume roof that features decorative half-timber on roughcast gables. The first floor verandahs have decorative curved post brackets and spaced timber balustrades. The deep valance on the ground floor is scalloped shingles. Residence is set in manicured garden with tennis court in expansive front setback.					
Condition						
Precinct/Parent Pl.	Heritage Precinct			Walter Street		
Listing types	Local Heritage Survey			Adopted [DATE]		
	Heritage List			Adopted [DATE]		
	Heritage Council of Western Australia					
	National Trust of Australia (WA)					
Date	Start	1908	Finish		Circa	<input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology						
Other keywords						
Demolition						
Designer						
Builder/maker						
References	Author			Title		
				Town of Claremont Rate Books		
				Post Office Directories		
Owners						

ADDITIONAL IMAGE/S

Caption						
Image year		Image by		Copyright		
[PHOTO]						

YEOVIL, 5 WALTER STREET



SIGNIFICANCE

Significance Level	Considerable Significance: Category 2
Description	Very important to the heritage of the locality. High degree of integrity/authenticity.

LOCATIONAL INFORMATION

LHS No.	617
Name of item	Yeovil
HCWA No.	08380
ToC Assess No.	4359
Address	5 Walter Street CLAREMONT 6010
Location Desc.	Plan 31780 Lot 201
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Fine example of a Federation Bungalow, contributing to the streetscape. The interior of the building is not of cultural heritage significance. Included in the Heritage List for reasons of having been constructed before 1910, meeting the requirements of Section 78 Clause 3(a) of LPS3.
History	

Integrity & Authenticity						
Description	Single-storey, face brickwork with rendered banding. The hipped Zincalume roof features decorative half-timber gablets to the truncated front corner, front, and side. The separate skillion verandah follows the truncation and extends along the front and side flanking the corner. The elegant verandah is detailed in turned timber vertical spaced valance with decorative brackets, turned timber posts, and vertical timbered balustrades. A sloping site provides an elevation to the verandah truncation and side.					
Condition						
Precinct/Parent Pl.	Heritage Precinct			Walter Street		
Listing types	Local Heritage Survey			Adopted [DATE]		
	Heritage List			Adopted [DATE]		
	Heritage Council of Western Australia					
	National Trust of Australia (WA)					
Date	Start	1907	Finish		Circa	<input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology						
Other keywords						
Demolition						
Designer						
Builder/maker						
References	Author			Title		
				Town of Claremont Rate Books		
				Post Office Directories		
Owners						

ADDITIONAL IMAGE/S

Caption						
Image year		Image by		Copyright		
[PHOTO]						

RESIDENCE, 6 WALTER STREET



SIGNIFICANCE

Significance Level	Moderate Significance: Category 3
Description	Contributes to the heritage of the locality. Lower integrity/authenticity, not necessarily detracting from the overall significance of the place.

LOCATIONAL INFORMATION

LHS No.	618
Name of item	Residence
HCWA No.	08381
ToC Assess No.	4360
Address	6 Walter Street CLAREMONT 6010
Location Desc.	Plan 2448 Lot 53
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and tile
Architectural style	Interwar California Bungalow
Theme	1919-39: Interwar boom and bust
Values	
Statement of Significance	
History	

Integrity & Authenticity						
Description	Single-storey face brickwork with roughcast dado verandah with timber framed window enclosures above. The hipped roof is clad with Marseille tiles and features a front gable with horizontal timber infill. One side of the verandah is still open where the entry is located. The verandah is supported by pairs of timber posts on roughcast pillars.					
Condition						
Precinct/Parent Pl.	Heritage Precinct			Walter Street		
Listing types	Local Heritage Survey			Adopted [DATE]		
	Heritage List			Adopted [DATE]		
	Heritage Council of Western Australia					
	National Trust of Australia (WA)					
Date	Start	1920	Finish		Circa	<input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology						
Other keywords						
Demolition						
Designer						
Builder/maker						
References	Author					Title
						Town of Claremont Rate Books
						Post Office Directories
Owners						

ADDITIONAL IMAGE/S

Caption						
Image year		Image by		Copyright		
[PHOTO]						

RESIDENCE, 7 WALTER STREET



SIGNIFICANCE

Significance Level	Considerable Significance: Category 2
Description	Very important to the heritage of the locality. High degree of integrity/authenticity.

LOCATIONAL INFORMATION

LHS No.	619
Name of item	Residence
HCWA No.	08382
ToC Assess No.	4361
Address	7 Walter Street CLAREMONT 6010
Location Desc.	Plan 70230 Lot 504
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Fine example of a Federation Bungalow, contributing to the streetscape. The interior of the building is not of cultural heritage significance. Included in the Heritage List for reasons of contributing to the townscape, meeting the requirements of Section 78 Clause 3(c) of LPS3.
History	

Integrity & Authenticity						
Description	Single-storey painted brickwork, with hipped Zinacalume roof with protruding half-timbered gable features over a bullnose awning above a set of three double hung sash windows. The front verandah has a vertical spaced timber balustrade.					
Condition						
Precinct/Parent Pl.	Heritage Precinct			Walter Street		
Listing types	Local Heritage Survey			Adopted [DATE]		
	Heritage List			Adopted [DATE]		
	Heritage Council of Western Australia					
	National Trust of Australia (WA)					
Date	Start	1913	Finish		Circa	<input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology						
Other keywords						
Demolition						
Designer						
Builder/maker						
References	Author	Title				
		Town of Claremont Rate Books				
		Post Office Directories				
Owners						

ADDITIONAL IMAGE/S

Caption						
Image year		Image by		Copyright		
[PHOTO]						

RESIDENCE, 8 WALTER STREET



SIGNIFICANCE

Significance Level	Moderate Significance: Category 3
Description	Contributes to the heritage of the locality. Lower integrity/authenticity, not necessarily detracting from the overall significance of the place.

LOCATIONAL INFORMATION

LHS No.	620
Name of item	Residence
HCWA No.	08383
ToC Assess No.	4362
Address	8 Walter Street CLAREMONT 6010
Location Desc.	Plan 2448 Lot 52
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Good example of a Federation Bungalow, contributing to the streetscape. The interior of the building is not of cultural heritage significance. Included in the Heritage List for reasons of having been constructed before 1910, meeting the requirements of Section 78 Clause 3(a) of LPS3.

History						
Integrity & Authenticity						
Description	Single-storey, restored face brickwork on the symmetrical frontage. The hipped Zinacalume roof is separate from the skillion front verandah roof that is supported by pairs of new turned timber posts. The residence has undergone extensive renovation, and extensions at the rear.					
Condition						
Precinct/Parent Pl.	Heritage Precinct			Walter Street		
Listing types	Local Heritage Survey			Adopted [DATE]		
	Heritage List			Adopted [DATE]		
	Heritage Council of Western Australia					
	National Trust of Australia (WA)					
Date	Start	1904	Finish		Circa	<input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology						
Other keywords						
Demolition						
Designer						
Builder/maker						
References	Author					Title
						Town of Claremont Rate Books
						Post Office Directories
Owners						

ADDITIONAL IMAGE/S

Caption						
Image year		Image by		Copyright		
[PHOTO]						

RESIDENCE, 10 WALTER STREET



SIGNIFICANCE

Significance Level	Considerable Significance: Category 2
Description	Very important to the heritage of the locality. High degree of integrity/authenticity.

LOCATIONAL INFORMATION

LHS No.	621
Name of item	Residence
HCWA No.	08384
ToC Assess No.	4364
Address	10 Walter Street CLAREMONT 6010
Location Desc.	Plan 2448 Lot 49
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Fine example of a Federation Bungalow, contributing to the streetscape. The interior of the building is not of cultural heritage significance. Included in the Heritage List for reasons of having been constructed before 1910, meeting the requirements of Section 78 Clause 3(a) of LPS3.
History	

Integrity & Authenticity						
Description	Single-storey painted brickwork, with a hipped Zinalume roof that has a half-timbered gable feature over the protruding wall. Protruding bay has rectangular bay window with an awning over the pair of double-hung sash windows. The front verandah is skillion with a decorative spaced timber valance and balustrade, and turned timber posts.					
Condition						
Precinct/Parent Pl.	Heritage Precinct			Walter Street		
Listing types	Local Heritage Survey			Adopted [DATE]		
	Heritage List			Adopted [DATE]		
	Heritage Council of Western Australia					
	National Trust of Australia (WA)					
Date	Start	1906	Finish		Circa	<input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology						
Other keywords						
Demolition						
Designer						
Builder/maker						
References	Author			Title		
				Town of Claremont Rate Books		
				Post Office Directories		
Owners						

ADDITIONAL IMAGE/S

Caption						
Image year		Image by		Copyright		
[PHOTO]						

RESIDENCE, 11 WALTER STREET



SIGNIFICANCE

Significance Level	Moderate Significance: Category 3
Description	Contributes to the heritage of the locality. Lower integrity/authenticity, not necessarily detracting from the overall significance of the place.

LOCATIONAL INFORMATION

LHS No.	622
Name of item	Residence
HCWA No.	08385
ToC Assess No.	4365
Address	11 Walter Street CLAREMONT 6010
Location Desc.	Plan 6104 Lot 3
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and Metal
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Good example of a Federation Bungalow, contributing to the streetscape. The interior of the building is not of cultural heritage significance. Included in the Heritage List for reasons of having been constructed before 1910, meeting the requirements of Section 78 Clause 3(a) of LPS3.

History						
Integrity & Authenticity						
Description	Single-storey, face brickwork with rendered banding. The hipped tiled roof features decorative half-timber gables to the truncated front corner, front and side. The separate skillion verandah follows the truncation and extends along the front and side flanking the corner. The verandah has slender steel post supports. A sloping site provides an elevation to the verandah truncation and side. There is an obtrusive brick front fence. Although the same style as Nos. 5 and 13 by the same owner, it does not have the detail.					
Condition						
Precinct/Parent Pl.	Heritage Precinct			Walter Street		
Listing types	Local Heritage Survey			Adopted [DATE]		
	Heritage List			Adopted [DATE]		
	Heritage Council of Western Australia					
	National Trust of Australia (WA)					
Date	Start	1907	Finish		Circa	<input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology						
Other keywords						
Demolition						
Designer						
Builder/maker						
References	Author					Title
						Town of Claremont Rate Books
						Post Office Directories
Owners						

ADDITIONAL IMAGE/S

Caption						
Image year		Image by		Copyright		
[PHOTO]						

HARPTREE, 12 WALTER STREET



SIGNIFICANCE

Significance Level	Moderate Significance: Category 3
Description	Contributes to the heritage of the locality. Lower integrity/authenticity, not necessarily detracting from the overall significance of the place.

LOCATIONAL INFORMATION

LHS No.	623
Name of item	Harptree
HCWA No.	08386
ToC Assess No.	4366
Address	12 Walter Street CLAREMONT 6010
Location Desc.	Plan 71587 Lot 503
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and tile
Architectural style	Interwar California Bungalow
Theme	1919-39: Interwar boom and bust
Values	
Statement of Significance	Good example of an Interwar California Bungalow, contributing to the streetscape. The interior of the building is not of cultural heritage significance. Included in the Heritage List for reasons of contributing to the townscape, meeting the requirements of Section 78 Clause 3(c) of LPS3.

History						
Integrity & Authenticity						
Description	Single-storey painted brickwork gable tiled roof features a board front gable over a verandah. The gable has a small window near the Apex, indicating a second level of flooring.					
Condition						
Precinct/Parent Pl.	Heritage Precinct			Walter Street		
Listing types	Local Heritage Survey			Adopted [DATE]		
	Heritage List			Adopted [DATE]		
	Heritage Council of Western Australia					
	National Trust of Australia (WA)					
Date	Start	1925	Finish		Circa	<input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology						
Other keywords						
Demolition						
Designer						
Builder/maker						
References	Author					Title
						Town of Claremont Rate Books
						Post Office Directories
Owners						

ADDITIONAL IMAGE/S

Caption						
Image year		Image by		Copyright		
[PHOTO]						

RESIDENCE, 13 WALTER STREET



SIGNIFICANCE

Significance Level	Moderate Significance: Category 3
Description	Contributes to the heritage of the locality. Lower integrity/authenticity, not necessarily detracting from the overall significance of the place.

LOCATIONAL INFORMATION

LHS No.	624
Name of item	Residence
HCWA No.	08387
ToC Assess No.	4367
Address	13 Walter Street CLAREMONT 6010
Location Desc.	Plan 6104 Lot 4
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Good example of a Federation Bungalow, contributing to the streetscape. The interior of the building is not of cultural heritage significance. Included in the Heritage List for reasons of having been constructed before 1910, meeting the requirements of Section 78 Clause 3(a) of LPS3.

History						
Integrity & Authenticity						
Description	Single-storey, face brickwork with rendered banding. The hipped Zincalume roof features decorative half-timber gables to the truncated front corner, front and side. The separate bullnose verandah follows the truncation and extends along the front and side flanking the corner. The verandah has turned timber posts. A sloping site provides an elevation to the verandah truncation and side. It is the same design as Nos. 5 and 11 by the same owner.					
Condition						
Precinct/Parent Pl.	Heritage Precinct			Walter Street		
Listing types	Local Heritage Survey			Adopted [DATE]		
	Heritage List			Adopted [DATE]		
	Heritage Council of Western Australia					
	National Trust of Australia (WA)					
Date	Start	1907	Finish		Circa	<input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology						
Other keywords						
Demolition						
Designer						
Builder/maker						
References	Author					Title
						Town of Claremont Rate Books
						Post Office Directories
Owners						

ADDITIONAL IMAGE/S

Caption						
Image year		Image by		Copyright		
[PHOTO]						

HASWELL, 14 WALTER STREET



SIGNIFICANCE

Significance Level	Moderate Significance: Category 3
Description	Contributes to the heritage of the locality. Lower integrity/authenticity, not necessarily detracting from the overall significance of the place.

LOCATIONAL INFORMATION

LHS No.	625
Name of item	Haswell
HCWA No.	8388
ToC Assess No.	5388
Address	14 Walter Street, CLAREMONT 6010
Location Desc.	Plan 71587 Lot 504,
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	
History	

Integrity & Authenticity						
Description	Single-storey, face brickwork, with a hipped Zincalume roof. No verandahs are visible.					
Condition						
Precinct/Parent Pl.	Heritage Precinct			Walter Street		
Listing types	Local Heritage Survey			Adopted [DATE]		
	Heritage List			Adopted [DATE]		
	Heritage Council of Western Australia					
	National Trust of Australia (WA)					
Date	Start	1906	Finish		Circa	<input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology						
Other keywords						
Demolition						
Designer						
Builder/maker						
References	Author					Title
						Town of Claremont Rate Books
						Post Office Directories
Owners						

ADDITIONAL IMAGE/S

Caption						
Image year		Image by		Copyright		
[PHOTO]						

RESIDENCE, 15 WALTER STREET



SIGNIFICANCE

Significance Level	Considerable Significance: Category 2
Description	Very important to the heritage of the locality. High degree of integrity/authenticity.

LOCATIONAL INFORMATION

LHS No.	626
Name of item	Residence
HCWA No.	08389
ToC Assess No.	4369
Address	15 Walter Street CLAREMONT 6010
Location Desc.	Plan 31783 Lot 207
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Fine example of a Federation Bungalow, contributing to the streetscape. The interior of the building is not of cultural heritage significance. Included in the Heritage List for reasons of having been constructed before 1910, meeting the requirements of Section 78 Clause 3(a) of LPS3.
History	

Integrity & Authenticity						
Description	Single-storey, face brickwork with rendered banding. The hipped Zincalume roof has a half-timbered gable feature over the protruding wall with an awning over the set of three double-hung sash windows. The front and side verandah is break pitch off the main roof. There is a double story extension at the rear.					
Condition						
Precinct/Parent Pl.	Heritage Precinct			Walter Street		
Listing types	Local Heritage Survey			Adopted [DATE]		
	Heritage List			Adopted [DATE]		
	Heritage Council of Western Australia					
	National Trust of Australia (WA)					
Date	Start	1907	Finish		Circa	<input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology						
Other keywords						
Demolition						
Designer						
Builder/maker	William Williams					
References	Author			Title		
				Town of Claremont Rate Books		
				Post Office Directories		
Owners						

ADDITIONAL IMAGE/S

Caption						
Image year		Image by		Copyright		
[PHOTO]						

STAVITON, 19 WALTER STREET



SIGNIFICANCE

Significance Level	Considerable Significance: Category 2
Description	Very important to the heritage of the locality. High degree of integrity/authenticity.

LOCATIONAL INFORMATION

LHS No.	627
Name of item	Staviton
HCWA No.	08391
ToC Assess No.	4373
Address	19 Walter Street CLAREMONT 6010
Location Desc.	Plan 31783 Lot 210
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Fine example of a Federation Bungalow, contributing to the streetscape. The interior of the building is not of cultural heritage significance. Included in the Heritage List for reasons of contributing to the townscape, meeting the requirements of Section 78 Clause 3(c) of LPS3.
History	

Integrity & Authenticity						
Description	Single-storey painted brickwork, with a hipped Zinalume roof that has a half-timbered on roughcast gable feature over the protruding wall with a bullnose awning over a set of three casement windows. The front verandah is skillion and returns around the side with spaced timber balustrade, and timber posts.					
Condition						
Precinct/Parent Pl.	Heritage Precinct			Walter Street		
Listing types	Local Heritage Survey			Adopted [DATE]		
	Heritage List			Adopted [DATE]		
	Heritage Council of Western Australia					
	National Trust of Australia (WA)					
Date	Start	1910	Finish		Circa	<input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology						
Other keywords						
Demolition						
Designer						
Builder/maker						
References	Author	Title				
		Town of Claremont Rate Books				
		Post Office Directories				
Owners						

ADDITIONAL IMAGE/S

Caption						
Image year		Image by		Copyright		
[PHOTO]						

RESIDENCE, 21 WALTER STREET



SIGNIFICANCE

Significance Level	Moderate Significance: Category 3
Description	Contributes to the heritage of the locality. Lower integrity/authenticity, not necessarily detracting from the overall significance of the place.

LOCATIONAL INFORMATION

LHS No.	628
Name of item	Residence
HCWA No.	25814
ToC Assess No.	4378
Address	21 Walter Street CLAREMONT 6010
Location Desc.	Plan P0024 Lot 14
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and tile
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Good example of a Federation Bungalow, contributing to the streetscape. The interior of the building is not of cultural heritage significance. Included in the Heritage List for reasons of having been constructed before 1910, meeting the requirements of Section 78 Clause 3(a) of LPS3.

History						
Integrity & Authenticity						
Description	Single-storey painted brickwork, with a hipped clay tiled roof that breaks pitch over the front verandah. The verandah has a spaced timber valance and balustrade.					
Condition						
Precinct/Parent Pl.	Heritage Precinct			Walter Street		
Listing types	Local Heritage Survey			Adopted [DATE]		
	Heritage List			Adopted [DATE]		
	Heritage Council of Western Australia					
	National Trust of Australia (WA)					
Date	Start	1907	Finish		Circa	<input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology						
Other keywords						
Demolition						
Designer						
Builder/maker						
References	Author					Title
						Town of Claremont Rate Books
						Post Office Directories
Owners						

ADDITIONAL IMAGE/S

Caption						
Image year		Image by		Copyright		
[PHOTO]						

RESIDENCE, 23 WALTER STREET



SIGNIFICANCE

Significance Level	Considerable Significance: Category 2
Description	Very important to the heritage of the locality. High degree of integrity/authenticity.

LOCATIONAL INFORMATION

LHS No.	629
Name of item	Residence
HCWA No.	08393
ToC Assess No.	4379
Address	23 Walter Street CLAREMONT 6010
Location Desc.	Plan 31784 Lot 214
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Timber and metal
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Fine example of a Federation Bungalow, contributing to the streetscape. The interior of the building is not of cultural heritage significance. Included in the Heritage List for reasons of having been constructed before 1910, meeting the requirements of Section 78 Clause 3(a) of LPS3.
History	

Integrity & Authenticity						
Description	Single-storey timber framed and weatherboard clad, the residence has a hipped Zinalume roof and separate perimeter verandah supported by square timber posts. The symmetrical frontage has a central front door flanked by sets of three double-hung sash windows each side. There are rear extensions.					
Condition						
Precinct/Parent Pl.	Heritage Precinct			Walter Street		
Listing types	Local Heritage Survey			Adopted [DATE]		
	Heritage List			Adopted [DATE]		
	Heritage Council of Western Australia					
	National Trust of Australia (WA)					
Date	Start	1903	Finish		Circa	<input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology						
Other keywords						
Demolition						
Designer						
Builder/maker						
References	Author			Title		
				Town of Claremont Rate Books		
				Post Office Directories		
Owners						

ADDITIONAL IMAGE/S

Caption						
Image year		Image by		Copyright		
[PHOTO]						

RESIDENCE, 25 WALTER STREET



SIGNIFICANCE

Significance Level	Moderate Significance: Category 3
Description	Contributes to the heritage of the locality. Lower integrity/authenticity, not necessarily detracting from the overall significance of the place.

LOCATIONAL INFORMATION

LHS No.	630
Name of item	Residence
HCWA No.	25813
ToC Assess No.	4381
Address	25 Walter Street CLAREMONT 6010
Location Desc.	Plan 31784 Lot 214
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and tile
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Good example of a Federation Bungalow, contributing to the streetscape. The interior of the building is not of cultural heritage significance. Included in the Heritage List for reasons of contributing to the townscape, meeting the requirements of Section 78 Clause 3(c) of LPS3.

History						
Integrity & Authenticity						
Description						
Condition						
Precinct/Parent Pl.	Heritage Precinct			Walter Street		
Listing types	Local Heritage Survey			Adopted [DATE]		
	Heritage List			Adopted [DATE]		
	Heritage Council of Western Australia					
	National Trust of Australia (WA)					
Date	Start	1913	Finish		Circa	<input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology						
Other keywords						
Demolition						
Designer						
Builder/maker						
References	Author					Title
						Town of Claremont Rate Books
						Post Office Directories
Owners						

ADDITIONAL IMAGE/S

Caption						
Image year		Image by		Copyright		
[PHOTO]						

RESIDENCE, 26 WALTER STREET



SIGNIFICANCE

Significance Level	Considerable Significance: Category 2
Description	Very important to the heritage of the locality. High degree of integrity/authenticity.

LOCATIONAL INFORMATION

LHS No.	631
Name of item	Residence
HCWA No.	08394
ToC Assess No.	4382
Address	26 Walter Street CLAREMONT 6010
Location Desc.	Plan 5178 Lot 1
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Fine example of a Federation Bungalow, contributing to the streetscape. The interior of the building is not of cultural heritage significance. Included in the Heritage List for reasons of having been constructed before 1910, meeting the requirements of Section 78 Clause 3(a) of LPS3.
History	

Integrity & Authenticity						
Description	Single-storey painted brickwork, with a hipped Zinalume roof that has a half-timbered gable. The protruding wall with a faceted bay window with separate roof and arched window to each facet. The front and side verandahs are skillion with decorative brackets and turned timber posts.					
Condition						
Precinct/Parent Pl.	Heritage Precinct			Walter Street		
Listing types	Local Heritage Survey		Adopted [DATE]			
	Heritage List		Adopted [DATE]			
	Heritage Council of Western Australia					
	National Trust of Australia (WA)					
Date	Start	1903	Finish		Circa	<input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology						
Other keywords						
Demolition						
Designer						
Builder/maker						
References	Author	Title				
		Town of Claremont Rate Books				
		Post Office Directories				
Owners						

ADDITIONAL IMAGE/S

Caption						
Image year		Image by		Copyright		
[PHOTO]						

RESIDENCE, 28 WALTER STREET



SIGNIFICANCE

Significance Level	Considerable Significance: Category 2
Description	Very important to the heritage of the locality. High degree of integrity/authenticity.

LOCATIONAL INFORMATION

LHS No.	632
Name of item	Residence
HCWA No.	08395
ToC Assess No.	4385
Address	28 Walter Street CLAREMONT 6010
Location Desc.	Plan 77298 Lot 103
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and metal
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Fine example of a Federation Bungalow, contributing to the streetscape. The interior of the building is not of cultural heritage significance. Included in the Heritage List for reasons of having been constructed before 1910, meeting the requirements of Section 78 Clause 3(a) of LPS3.
History	

Integrity & Authenticity						
Description	Single-storey painted brickwork, with a hipped Colorbond roof that has a half-timbered gable feature over the protruding wall with rectangular bay window with an awning over the pair of casement windows. The front and side verandahs are continuous to the main roof.					
Condition						
Precinct/Parent Pl.	Heritage Precinct			Walter Street		
Listing types	Local Heritage Survey			Adopted [DATE]		
	Heritage List			Adopted [DATE]		
	Heritage Council of Western Australia					
	National Trust of Australia (WA)					
Date	Start	1908	Finish		Circa	<input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology						
Other keywords						
Demolition						
Designer						
Builder/maker						
References	Author			Title		
				Town of Claremont Rate Books		
				Post Office Directories		
Owners						

ADDITIONAL IMAGE/S

Caption						
Image year		Image by		Copyright		
[PHOTO]						

ENNISKILLEN, 29 WALTER STREET



SIGNIFICANCE

Significance Level	Moderate Significance: Category 3
Description	Contributes to the heritage of the locality. Lower integrity/authenticity, not necessarily detracting from the overall significance of the place.

LOCATIONAL INFORMATION

LHS No.	633
Name of item	Enniskillen
HCWA No.	08396
ToC Assess No.	4387
Address	29 Walter Street CLAREMONT 6010
Location Desc.	Plan 31784 Lot 220
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Residential
Former use	Residential
Constr. Materials	Brick and tile
Architectural style	Federation Bungalow
Theme	1898-1918: Creating a Town
Values	
Statement of Significance	Good example of a Federation Bungalow, contributing to the streetscape. The interior of the building is not of cultural heritage significance. Included in the Heritage List for reasons of having been constructed before 1910, meeting the requirements of Section 78 Clause 3(a) of LPS3.

History						
Integrity & Authenticity						
Description	Single-storey painted brickwork, with a hipped tiled roof that has a half-timbered gable feature over the protruding wall with a pair of double-hung sash windows. The front and side verandahs are break pitch off the main roof.					
Condition						
Precinct/Parent Pl.	Heritage Precinct			Walter Street		
Listing types	Local Heritage Survey			Adopted [DATE]		
	Heritage List			Adopted [DATE]		
	Heritage Council of Western Australia					
	National Trust of Australia (WA)					
Date	Start	1904	Finish		Circa	<input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology						
Other keywords						
Demolition						
Designer						
Builder/maker						
References	Author					Title
						Town of Claremont Rate Books
						Post Office Directories
Owners						

ADDITIONAL IMAGE/S

Caption						
Image year		Image by		Copyright		
[PHOTO]						

ST THOMAS THE APOSTLE CATHOLIC CHURCH



SIGNIFICANCE

Significance Level	Considerable Significance: Category 2
Description	Very important to the heritage of the locality. High degree of integrity/authenticity.

LOCATIONAL INFORMATION

LHS No.	634
Name of item	St Thomas the Apostle Catholic Church
HCWA No.	00488
ToC Assess No.	2474
Address	8 Warden Street CLAREMONT 6010
Location Desc.	Plan 76632 Lot 112
Other names	
Place Type	Individual building
Local Government	Town of Claremont
Titles	
GIS Details	

DESCRIPTION

Current use	Religious
Former use	Religious
Constr. Materials	Brick and tile
Architectural style	Interwar Gothic
Theme	1919-39: Interwar boom and bust
Values	
Statement of Significance	Saint Thomas the Apostle Catholic Church is a fine example of Interwar Gothic architecture of an ecclesiastical nature and is significant for the events and associations since 1936.
History	

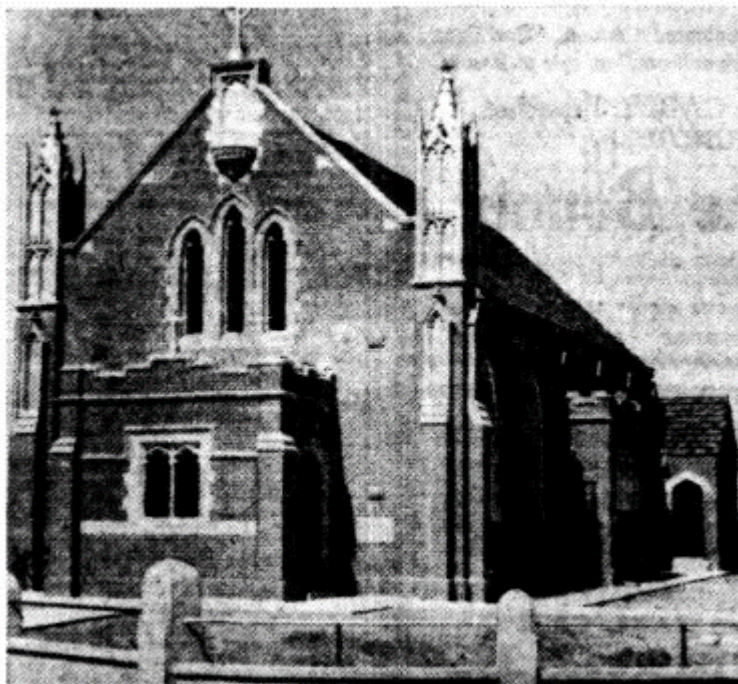
Integrity & Authenticity	High					
Description	The double volume face brick church has a steep pitched tile roof gabled at each end and finished in a moulded edge with a decorative vertical moulding at the apex on the front, with a cross. Central front is a single-storey parapeted protruding porch. Decorative buttresses are at the corners of building. The front gable wall features a set of three stained glass windows in gabled arches with deep stucco moulding.					
Condition	Good					
Precinct/Parent Pl.	Heritage Precinct					
Listing types	Local Heritage Survey			Adopted [DATE]		
	Heritage List			Adopted [DATE]		
	Heritage Council of Western Australia					
	National Trust of Australia (WA)					
Date	Start	1936	Finish		Circa	<input type="checkbox"/>

ADDITIONAL INFORMATION

Archaeology						
Other keywords						
Demolition						
Designer	Edgar Le B. Henderson					
Builder/maker	A. Hill					
References	Author					Title
						Town of Claremont Rate Books
						Post Office Directories
Owners						

ADDITIONAL IMAGE/S

Caption						
Image year	1936	Image by		Copyright		



West Australian 21 November 1936